

City of Cranston  
Zoning Board of Review  
Application

Application for exception or variation under the zoning ordinance “City of Cranston Zoning Code, December 1994 Edition as amended.”

To: Cranston Zoning Board of Review  
35 Sockanosset Crossroad Suite 6  
Cranston, RI 02920

Date: May 3, 2021

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Lippitt Land Investments, LLC

ADDRESS: 75 Lambert Lind Highway, Warwick, RI ZIP CODE: 02886

APPLICANT: Lippitt Land Investments, LLC

ADDRESS: 75 Lambert Lind Highway, Warwick, RI ZIP CODE: 02886

LESSEE:

ADDRESS: ZIP CODE:

1. ADDRESS OF PROPERTY: 39 Lantern Hill Drive

2. ASSESSOR’S PLAT #: 30-4 BLOCK #: ASSESSOR’S LOT #: 273 WARD: 4

3. LOT FRONTAGE: 312' +/- LOT DEPTH: 316' +/- LOT AREA: 80,000 sq ft

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A-80 80,000 sq ft 35'  
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: N/A PROPOSED: 30' +/-

6. LOT COVERAGE, PRESENT: N/A PROPOSED: 3% +/-

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 7/7/2009

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? no

9. GIVE SIZE OF EXISTING BUILDING(S): N/A

10. GIVE SIZE OF PROPOSED BUILDING(S): 64' x 46' +/-

11. WHAT IS THE PRESENT USE? vacant residential lot

12. WHAT IS THE PROPOSED USE? single family home with accessory family unit

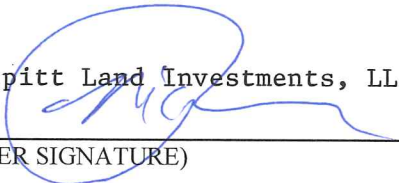
13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: one plus accessory family unit

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: Include an accessory family  
apartment in proposed single family home. Accessory unit will be 851 square feet.
15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? yes
16. WERE YOU REFUSED A PERMIT? yes
17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.  
17.24.010 (F) (Specific performance standards); 17.92.010 (Variance) and all  
other applicable sections of the zoning code
18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: Proposed accessory family apartment  
is permitted use under the zoning code and is allowed under RIGL Section 45-24-37 (e).  
The proposed accessory unit is 851 square feet and a dimensional variance of 251  
square feet is required to meet the design of the ADA accessible family apartment.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

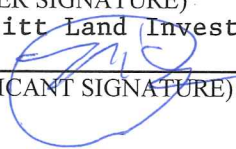
RESPECTFULLY SUBMITTED,

Lippitt Land Investments, LLC

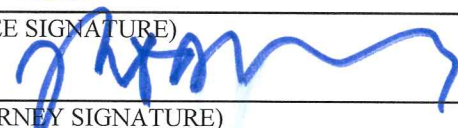
By:   
(OWNER SIGNATURE)

(OWNER SIGNATURE)

Lippitt Land Investments, LLC

By:   
(APPLICANT SIGNATURE)

(LESSEE SIGNATURE)

  
(ATTORNEY SIGNATURE)

Robert D. Murray, Esq.  
(ATTORNEY NAME-PLEASE PRINT)

732-3700  
(PHONE NUMBER)

732-3700  
(PHONE NUMBER)

946-3800  
(PHONE NUMBER)

(PHONE NUMBER)

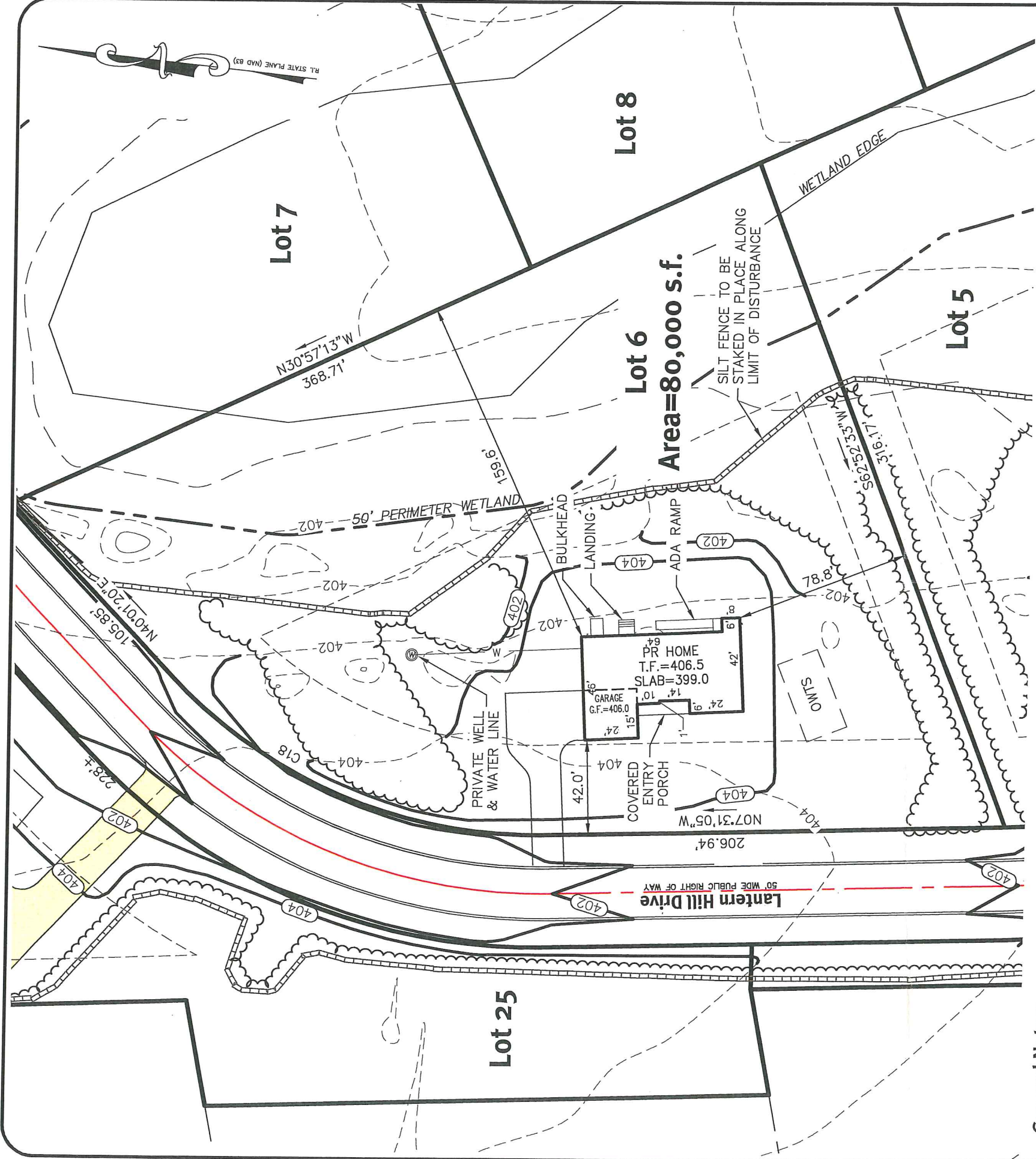
ATTORNEY ADDRESS: 21 Garden City Drive, Cranston, RI 02920

PRE-ZONING APPLICATION MEETING: 

(PLANNING DEPT. SIGNATURE)

(DATE)





General Notes:

1. THERE IS NO ALTERATION OF A FRESHWATER WETLAND PROPOSED OR REQUIRED. LIMIT OF WORK APPROVED UNDER RIDEM APPLICATION NO. 13-0203, DATED 6/27/2014.
2. THE SOLE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DWELLING LOCATION AND PROPOSED SEWER, WATER AND DRAINAGE LOCATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DE THAT UTILITY SERVICE IS AVAILABLE.
5. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DE AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK.

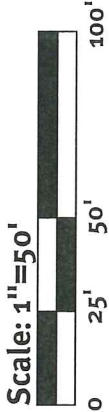
Curve Table			
CURVE	DELTA	RADIUS	LENGTH
C18	47°32'26"	225.00'	186.69'

Dimensional Regulations:

ZONING: A-80 (RESIDENTIAL PLANNED DISTRICT)  
MINIMUM LOT AREA 80,000 Square Feet  
MINIMUM FRONTAGE 200 Feet  
MINIMUM FRONT YARD SETBACK 40 Feet  
MINIMUM SIDE YARD SETBACK 20 Feet  
MINIMUM REAR YARD SETBACK 100 Feet

Plan Reference:

RECORD PLAN PHASE I LANTERN HILL ESTATES A.P. 30 LOT 250, CRANSTON, RI. PREPARED BY DIPRETE ENGINEERING ASSOCIATES, INC., PREPARED FOR LIPPITT LAND INVESTMENT, LLC.



No.	Date	Description	By:
2	4/21/21	Plot Plan	GME/MEG
1	11/01/19	Plot Plan	KWR
0	09/27/19	Plot Plan	CAD
Drawn By: MID/JAC			

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY LIMITED CONTENT BOUNDARY SURVEY (BUILDING LOCATION SURVEY) MEASUREMENT SPECIFICATION CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: DEPICT THE RELATIONSHIP BETWEEN THE LOT LINES AND PROPOSED BUILDING FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT.

Plot Plan - Subdivision Lot 6

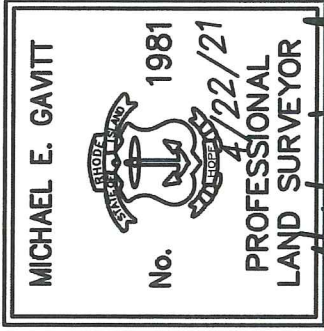
Lantern Hill Estates  
Cranston, Rhode Island

Applicant  
**Lippitt Land Investment, LLC**  
75 Lambert Lind Highway, Warwick, Rhode Island 02886  
tel. 401-732-3700

DiPrete Engineering

Two Stafford Court Cranston, RI 02920  
tel. 401-943-1000 fax 401-464-6006  
www.DiPrete-Eng.com

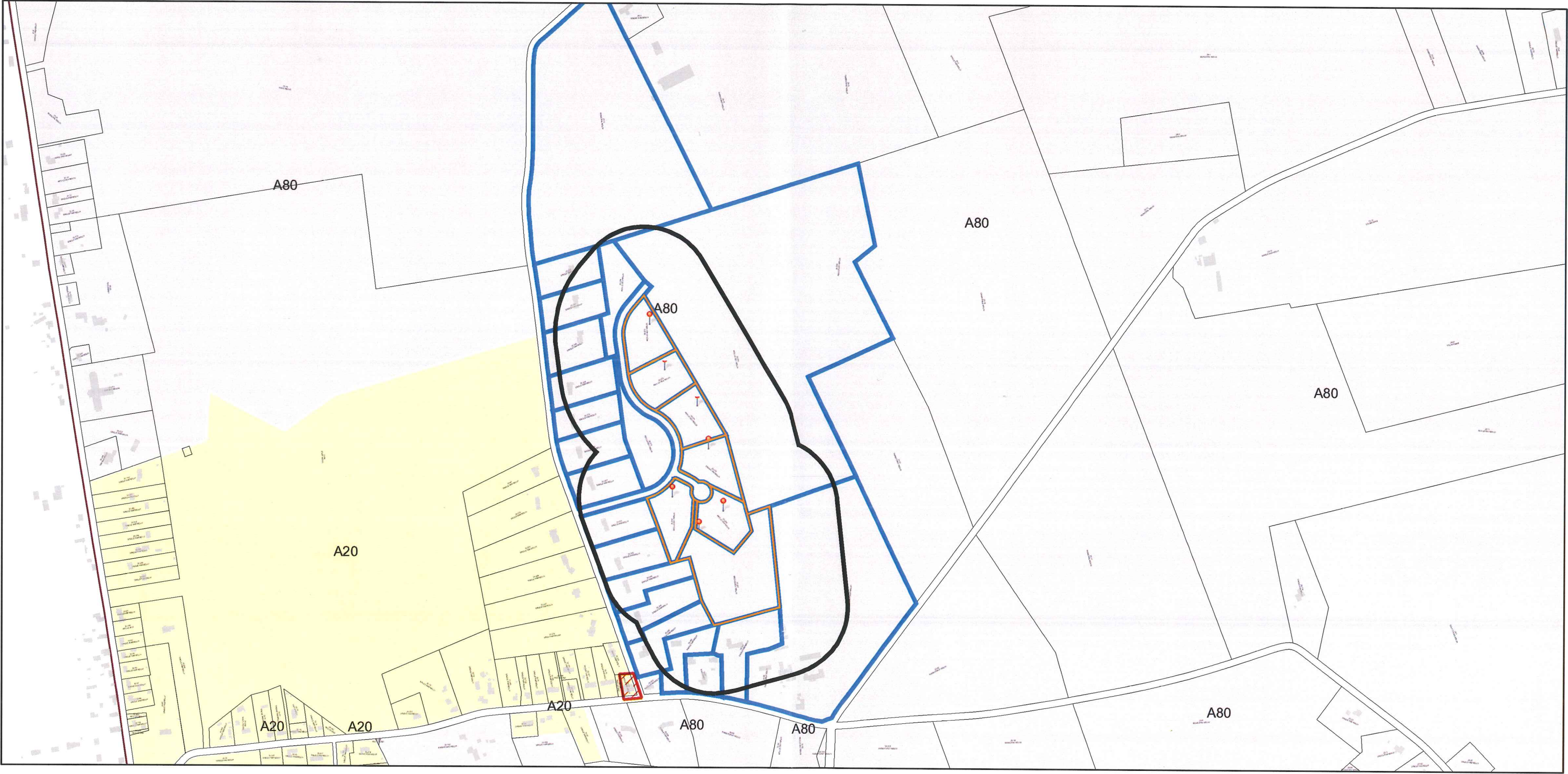
Engineers • Planners • Surveyors



BY   
MICHAEL E. GAVITT, RIPLS #1981  
C.O.A. NO. LS-A160

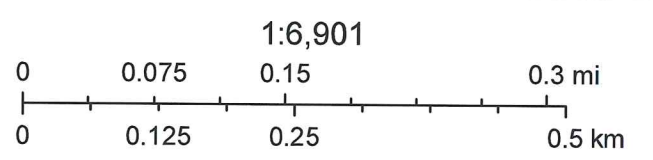


# 0 Lantern Hill Dr 400' Radius Plat 30 Lot 273



5/4/2021, 9:43:00 AM

	Parcel Outlines		Buildings		A20		C1		M2
	Plat Boundaries		Zoning Dimensions		A12		C2		EI
	Parcel ID Labels		Historic Overlay District		A8		C3		MPD
	Streets Names	<b>Zoning</b>			A6		C4		S1
	Cranston Boundary	none			B1		C5		Other
	Parcels	A80			B2		M1		



City of Cranston



DISCLAIMER:

**Clearvue Design Inc.** And Or Its Employees Assume No Responsibility For Any Dimension Discrepancies, Or Changes Made To Any Portion Of The Structure. Any Discrepancy In Structure Uniformity, Such As Material Consistency, The Structure Being Plumb, Level, And Square Could Cause The Structure To Become Physically Unsafe. The Homeowner And Or Contractor/Builder Shall Verify All Plan Dimensions, Structural Details, And Building Codes Requirements. Then Notify The Architect/Designer Of Any Dimensional Errors, Omissions Or Discrepancies Before Beginning Or Fabricating Any Work On The Project.

To The Best Of Our Knowledge These Plans Are Drawn To Comply With Owner's And/ Or Builder's Specifications And Any Changes Made On Them After Prints Are Made Will Be Done At The Owner's And / Or Builder's Expense And Responsibility. The Contractor Shall Verify All Dimensions And Enclosed Drawing.

**Clearvue Design Inc.** Is Not Liable For Errors Once Construction Has Begun. While Every Effort Has Been Made In The Preparation Of This Plan To Avoid Mistakes, The Maker Can Not Guarantee Against Human Error. The Contractor Of The Job Must Check All Dimensions And Other Details Prior To Construction And Be Solely Responsible Thereafter.

Unforeseen Site Conditions:

Unforeseen Site Conditions May Cause A Deviation From The Construction Documents And All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. It Is The Sole Responsibility Of The Builder/Contractor To Insure Structural Stability And Conformance Too All Applicable Codes.

Final Grade & Site Conditions:

The Final Finish Grade Around The Structure May Vary From The Construction Documents Submitted, Due To Actual Unforeseen Site Conditions. The Number Of Stairs To Meet The Finish Grade And Or Finish Floors Of Garage And Or House Shall Be As Required To Meet All Applicable Building & Civil Codes.

General Plan Notes:

Where Discrepancies Exist Between The Standard Comments And Notes From The Design Professional Or The Code, The Most Restrictive Shall Apply. All Construction Shall Comply With State Building Codes.

All Dimensions, Notes, And Other Information Conveyed In These Drawings Are For Construction Purposes And Are Subject To Change. All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. All Work Performed Is To Be In Accordance With All Local And State Building Codes.

CODE REVIEW SCHEDULE

BUILDING CODE-1	2019 RHODE ISLAND BUILDING CODE
BUILDING CODE-2	2019 RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE
ENERGY CODE	2019 RHODE ISLAND ENERGY CONSERVATION CODE
PLUMBING CODE	2019 RHODE ISLAND PLUMBING CODE
MECHANICAL CODE	2019 RHODE ISLAND MECHANICAL CODE
FUEL GAS CODE	2019 RHODE ISLAND FUEL & GAS CODE
ELECTRICAL CODE	INTERNATIONAL ELECTRICAL CODE, 2017 EDITION, RISBC-5 RHODE ISLAND ELECTRICAL CODE
HIGH WIND CODE	<b>WFCM 110-B-GUIDE</b> TO WOOD CONSTRUCTION IN HIGH WIND AREAS FOR ONE- AND TWO-FAMILY DWELLINGS, 110 MPH EXPOSURE B
R.I. FIRE SAFETY CODE	UNIFORM FIRE CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION INC. STANDARD 1 (NFPA 1 & 101), 2012 EDITION, WITH APPENDICES

CONSTRUCTION DESIGN CRITERIA

OCCUPANCY TYPE	R3
CONSTRUCTION TYPE	5B
LIVE & DEAD LOADS ALL FLOORS	40-PSF/LL 15-PSF/DL
TOTAL FLOOR LOADING	55-PSF
SNOW LIVE & DEAD LOADS ALL ROOFS	30-PSF/LL 15-PSF/DL
TOTAL ROOF LOADING	45-PSF
BALCONIES LIVE LOAD	60-PSF
DECKS LIVE LOAD	40-PSF/LL
UNINHABITABLE ATTICS LIVE LOAD	20-PSF
SOIL BEARING PRESSURE (ASSUMED)	2000-PSF
DESIGNED WIND EXPOSURE & WIND SPEED	<b>B / ZONE-1 100-MPH</b>
CLIMATE ZONE DESIGN LOCATION	5A
FROST DEPTH DESIGN	(3'-4")
BUILDING HEIGHT MAX.:(FROM AVERAGE FRONT GRADE)	(35'-0")

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2021-0004-1347 LANTERN HILL (39 LANTERN HILL DR CRANSTON, RI)

**DISCLAIMER:**

This plan is for building permit and design/layout purposes. Final framing plans, framing materials and construction details may vary and will be in accordance with State Building Codes and per the contract documents. The grades shown on the house plans do not reflect the actual grades on the lot. The amount of exposed foundation and the actual number of exterior steps and garage steps will be determined on-site and at the builder's discretion.

LAYOUT PAGE TABLE

LABEL	TITLE	DESCRIPTION
C-1	COVER SHEET	DESIGN CRITERIA AND NOTES
A-2	FOUNDATION	FOUNDATION & BASEMENT LAYOUT PLAN
A-3	FLOOR PLAN	1ST FLOOR LAYOUT PLAN
A-4	FLOOR PLAN	2ND FLOOR LAYOUT PLAN
A-5	ELEVATION	EXTERIOR ELEVATION FRONT & REAR VIEWS
A-6	ELEVATION	EXTERIOR ELEVATION LEFT & RIGHT SIDE VIEWS
A-7	CROSS SECTION	CROSS SECTION DETAIL VIEWS S1, S2, S3 & S4
A-8	CROSS SECTION	CROSS SECTION DETAIL VIEW S5 & S6
A-9	FRAMING PLAN	1ST FLOOR FRAMING LAYOUT PLAN
A-10	FRAMING PLAN	1ST FLOOR HEADER LAYOUT PLAN
A-11	FRAMING PLAN	2ND FLOOR FRAMING LAYOUT PLAN
A-12	FRAMING PLAN	2ND FLOOR HEADER LAYOUT PLAN
A-13	FRAMING PLAN	ROOF FRAMING & OVERVIEW LAYOUT PLAN
A-14	BUILDING DETAILS	STANDARD DETAILS UNLESS OTHERWISE NOTED
A-15	BUILDING DETAILS	STANDARD DECK DETAILS

REVISION TABLE

LABEL	DATE	REVISED BY	DESCRIPTION
REV-1	2/4/21	PHILIP C. CALABRO	PRELIMS AS PER JEN'S EMAIL
REV-3	2/10/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL
REV-3	2/15/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL
REV-4	2/25/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL
REV-5	3/3/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL
REV-6	3/8/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL AND PHONE CALL
REV-7	3/12/21	PHILIP C. CALABRO	REVISED AS PER JEN'S EMAIL AND PHONE CALL
REV-8	3/17/21	PHILIP C. CALABRO	REVISED AS PER JEN'S EMAIL
REV-9	3/20/21	PHILIP C. CALABRO	DRAFTING FOR REVISIONS AS PER JEN'S EMAIL
REV-10	4/21/21	PHILIP C. CALABRO	COMPLETED FINAL CONSTRUCTION DOC'S
REV-11	5/4/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL

PROJECT TITLE:

2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI)

PROJECT NUL INFORMATION:

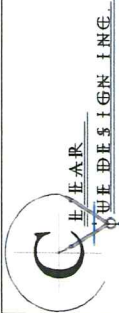
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - /Users/admin/Dropbox (Clearvue Design)/Projects/Docs/2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

CLIENT INFORMATION:

Picture Homes - Nicholas Keuler  
75 Lambert Lind Hwy  
Warwick, RI 02886  
Tel: (401) 732-3700  
Email: neuler@picturehomes.com  
Web: www.picturehomes.com

ClearVue Design Inc.

Philip C. Calabro  
(Tel): 401-946-8853  
Web: www.clearvuedesign.com  
Email: phil@clearvuedesign.com



DRAWN BY:

Philip C. Calabro

DATE:

5/4/21

SCALE:

AS NOTED

SHEET OF

1 15

SHEET:

C-1








[illegible]

Door Schedule												
RM Name	Label	MFG	Qty	FLR	R/O	Type	Fire	HDR	HDR Type	EX/IN	Hinge/S	Swing/S
Unfinished Basement Area	34710	N/A	1	0	40"x94"	Doorway				FX		None

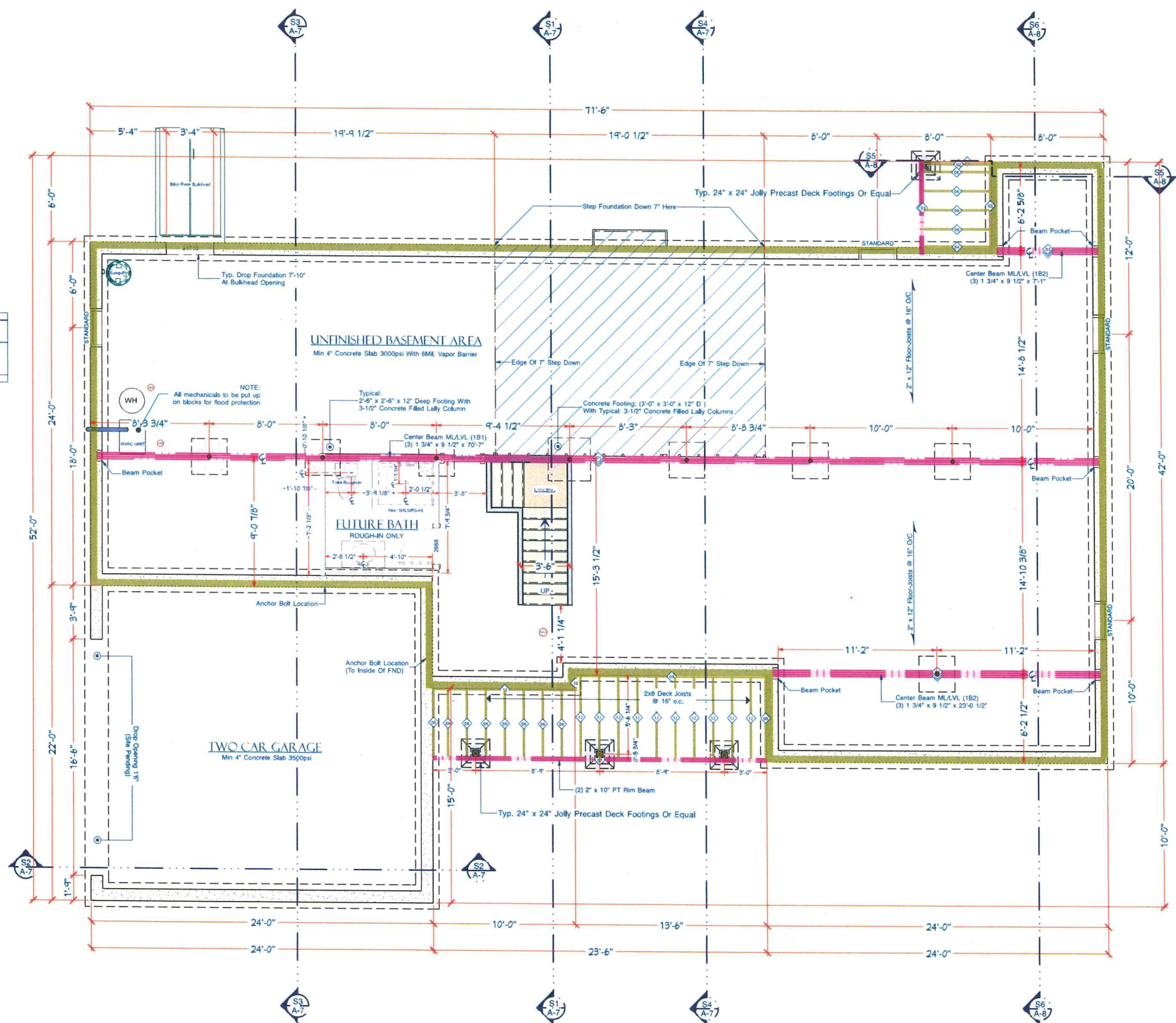
Living Area Schedule			
Room Name	Floor	Area. Standard (sq ft)	Dimensions
Future Bath	0	63	7'-8" x 7'-5"
Two Car Garage	0	535	27'-4" x 21'-2"
Unfinished Basement Area	0	2133	69'-10" x 34'-4"
<b>Totals:</b>		<b>2731</b>	

Closet Schedule				
Number	Floor	Label	Qty	Width

2D	Qty	Floor	Attached To	Description
CD	1	0	Ceiling	CO/Smoke Detector
HD	1	0	Ceiling	Heat Detector
SD	1	0	Ceiling	Smoke Detector

Wall Schedule					
2D Symbol	Wall Type	Floor	Cavity R-Value	Total Width	Qty
	2x - 10" Concrete - Cast in Place	0	0	10"	13
	5x - 2x4 w/ 1/2" SR	0	0	4 1/2"	4
	6x - 2x6 w/ 1/2" SR	0	0	6 1/2"	1
	6x - 2x6 w/ 1/2" SR Future	0	0	6 1/2"	1
	5x - 2x4 w/ 1/2" SR Future	0	0	4 1/2"	4

Deck Framing Schedule					
Num	Name	Qty	Normal Length	Material	
01	Deck Rim Joist	2	2'x10	77 1/2"	PT Structural Beam
02	Deck Rim Joist	2	2'x8	52"	PT Framing
03	Deck Rim Joist	1	2'x8	70 1/2"	PT Framing
04	Deck Rim Joist	1	2'x8	55 1/2"	PT Framing
05	Deck Rim Joist	2	2'x8	52"	PT Framing
06	Deck Joist	11	2'x8	55 1/2"	PT Framing
07	Deck Beam	2	2'x10	28 1/2"	PT Structural Beam
08	Deck Rim Joist	2	2'x8	160 1/2"	PT Framing
09	Deck Rim Joist	1	2'x8	67 1/2"	PT Framing
10	Deck Rim Joist	1	2'x8	13 1/2"	PT Framing
11	Deck Rim Joist	1	2'x8	118 1/2"	PT Framing
12	Deck Joist	1	2'x8	81"	PT Framing



LIVING AREA = 0 SQ FT

BASEMENT FLOOR LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:  
2021-0004-1347\_Lantern\_Hill (39\_Lantern\_Hill  
Dr\_Cranston, RI )

**PROJECT NU, INFORMATION:**  
2021-0004-1347 Lantern Hill (39 Lantern  
Hill Dr Cranston, RI ) - /Users/admin/  
Propobox (Clearvue Design)/Project Docs/  
2013-0047 (THE HAVEN PROJECTS)/AT  
LANTERN HILL/2021-0004-1347 Lantern  
Hill (Lot-39 Haven Colonial (LSE)

**CLIENT INFORMATION:**  
Picmerne Homes - Nicholas Reuter  
55 Lambert Lind Hwy  
Warrwick, RI 02886  
Tel: (401) 732-3700  
Email: [nreuter@picmerne.com](mailto:nreuter@picmerne.com)  
Web: [www.picmernehomes.com](http://www.picmernehomes.com)

**ClearVue Design Inc.**  
Philip C. Calabro  
(Tel: ) 401-946-8853  
Web: [www.clearvuedesign.com](http://www.clearvuedesign.com)  
Email: [phil@clearvuedesign.com](mailto:phil@clearvuedesign.com)

HEARST  
RADIO SIGNING

DRAWN BY

Philip C. Calabrese

DATE:

5/4/21

SCALE:

AS NOTED

SHEET	OF
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SHEET	OF
2	15

SHEET.

	SHEET:

A 2

A-2



DISCLAIMER:  
This plan is for building permit and design/layout purposes. Final framing plans, framing materials and construction details may vary and will be in accordance with State Building Codes and per the contract documents. The grades shown on the house plans do not reflect the actual grades on the lot. The amount of exposed foundation and the actual number of exterior steps and garage steps will be determined on-site and at the builder's discretion.

Window Schedule												
Elev	RM Name	Label	MFG.	Qty	Flr	Top	Dimensions	R/O	Egress	Temp	Description	HDR
	Dining Area	2849DH	Pella-250	2	1	84"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x12x35" (2)
	Family Room	2849DH	Pella-250	2	1	91"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x10x35" (2)
	Kitchenette/Living Area	2849DH	Pella-250	1	1	84"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x10x35" (2)
	Office/Study/Covered Porch Area	2856DH	Pella-250	2	1	84"	31 1/2"x65 1/2"DH	32"x66"	Yes		Double Hung	2x10x35" (2)
	Kitchenette/Living Area	SC4036DBL	Pella-250	1	1	84"	47 1/2"x41 1/2"	48"x42"			Mult Unit	2x10x51" (2)
	Kitchen	CS4036	Pella-250	1	1	90"	47 1/2"x41 1/2"	48"x42"			Mult Unit	2x10x51" (2)
	Two Car Garage	2856DH	Pella-250	2	1	111"	31 1/2"x65 1/2"DH	32"x66"	Yes		Double Hung	2x10x35" (2)
	Kids Corner	DH2849-2	Pella-250	1	1	84"	63 1/2"x56 1/2"	64"x57"	Yes		Mult Unit	2x10x67" (2)
	ADA Bath	2840DH	Pella-250	1	1	84"	31 1/2"x47 1/2"DH	32"x48"	Yes		Double Hung	2x10x35" (2)
	ADA Bedroom	10 DH2856-2	Pella-250	1	1	84"	63 1/2"x65 1/2"	64"x66"	Yes		Mult Unit	2x10x67" (2)
	Lav.	2436DH	Pella-250	1	1	84"	27 1/2"x41 1/2"DH	28"x42"			Double Hung	2x10x31" (2)
	Mud Room	2849DH	Pella-250	1	1	84"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x10x35" (2)
	Kitchenette/Living Area	DH2849-2	Pella-250	1	1	84"	63 1/2"x56 1/2"	64"x57"			Mult Unit	2x10x67" (2)
	Kitchenette/Living Area/Landing	2849DH	Pella-250	1	1	84"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x10x35" (2)
Totals												265.24

Door Schedule												
RM Name	Label	MFG.	Qty	Flr	Top	Dimensions	R/O	Egress	Temp	Description	HDR	HDR Type
Open Foyer/Covered Porch Area	ThermaTru 3066/125/13T	ThermaTru	1	1	64 1/2"x96"	Mult Unit	2x12x67 1/2" (2)				Lumber	EX L
Dining Area	SL60610	Pella-250	1	1	72"x82"	Sliding	2x12x78" (3)				Lumber	EX R
Mud Room/Two Car Garage	2868R	ThermaTru	1	1	34 1/2"x80 1/2"	Hinged	2x10x31 1/2" (2)				Lumber	IN R
Closet/Mud Room	2668H	Generic	1	1	32 1/2"x82 1/2"	Hinged	2x4x35 1/2" (2)				Lumber	IN R
Open Foyer/Closet	4068H	Generic	1	1	50 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN R
Kids Corner/Kitchen	2668 PK	Generic	1	1	62 1/2"x81 1/2"	Pocket	2x12x65 1/2" (2)				Lumber	IN L
Mud Room/Lav.	2668H	Generic	1	1	32 1/2"x82 1/2"	Hinged	2x4x35 1/2" (2)				Lumber	IN R
Kitchenette/Living Area/Mud Room	2668H	Generic	1	1	34 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN R
Stairwell/Hall	2668H	Generic	1	1	32 1/2"x82 1/2"	Hinged	2x4x35 1/2" (2)				Lumber	IN R
Two Car Garage	1668D	Amarr Garage Doors	1	1	192"x109"	Garage	2x4x35 1/2" (2)				Lumber	EX R
Kitchenette/Living Area/Lav.	2668H	Generic	1	1	12 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
ADA Bedroom/ADA Bath	2668H	Generic	1	1	34 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
Closet/ADA Bedroom	4068H	Generic	1	1	50 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
ADA Bedroom/Kitchenette/Living Area	2668H	Generic	1	1	34 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
Office/Study/Kitchenette/Living Area	2668H	Generic	1	1	34 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
Office/Study/Closet	4068H	Generic	1	1	50 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
Office/Study/Closet	4068H	Generic	1	1	34 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
Kitchenette/Living Area/Laundry/Closet	2668H	Generic	1	1	34 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
Mud Room/Landing	2668H	Generic	1	1	34 1/2"x82 1/2"	Hinged	2x4x37 1/2" (2)				Lumber	IN L
Dining Area/Hall	2856DH	ThermaTru	1	1	34 1/2"x96 3/8"	Doorway	2x10x37 1/2" (2)				Lumber	EX L
Hall/Open Foyer	2856DH	N/A	1	1	34 1/2"x96 3/8"	Doorway	2x10x37 1/2" (2)				Lumber	EX L
Dining Area/Hall	2812-Transom	Generic	1	1	33 1/2"x14 1/2"	Fixed Glass	2x10x37 1/2" (3)				Lumber	IN
Hall/Open Foyer	2812-Transom	Generic	1	1	33 1/2"x14 1/2"	Fixed Glass	2x10x37 1/2" (2)				Lumber	IN
Mud Room/Closet	4068H	Generic	1	1	50 1/2"x82 1/2"	Double Hinged	2x4x37 1/2" (2)				Lumber	IN L

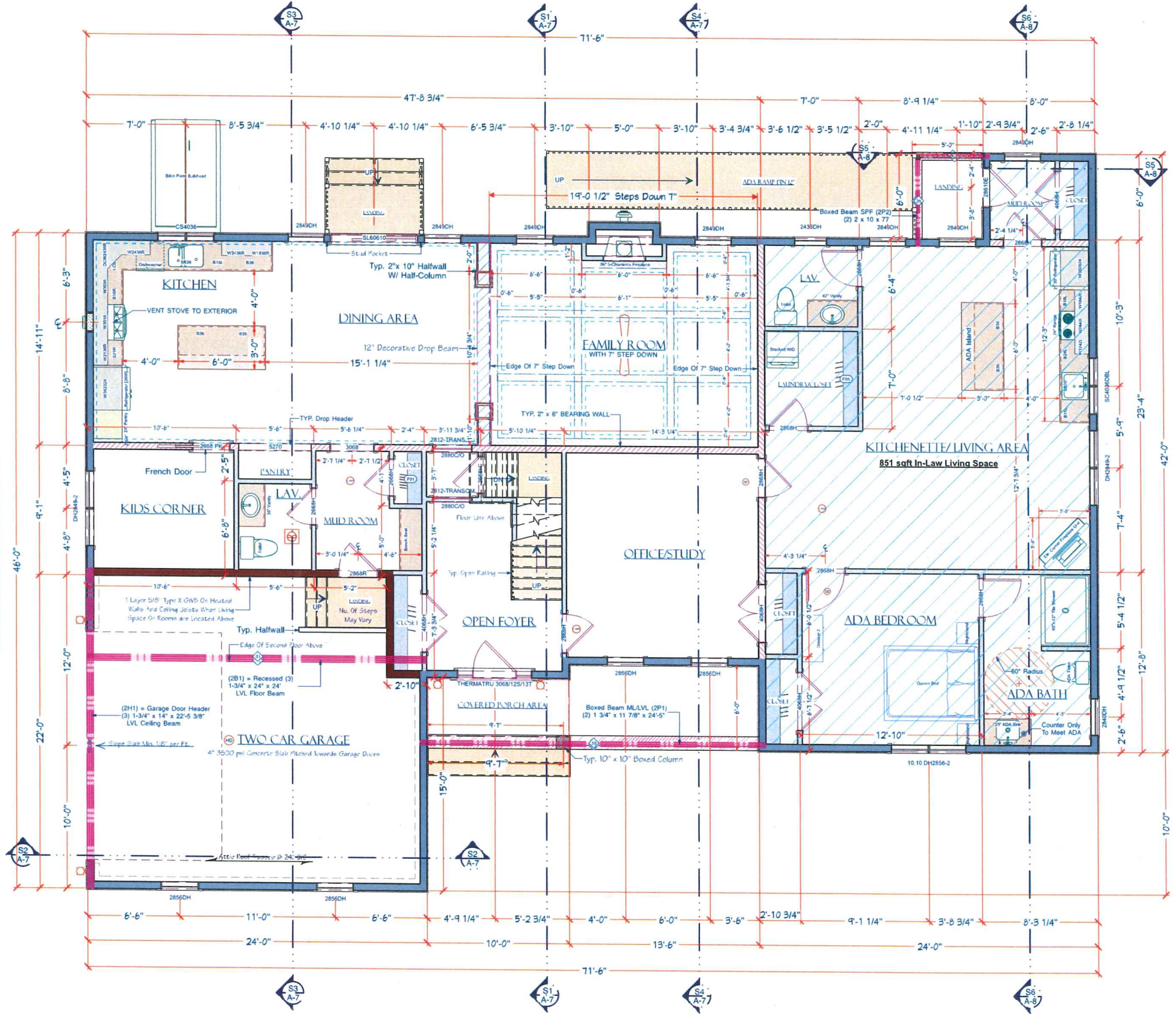
Living Area Schedule			
Room Name	Floor	Area, Standard (sq ft)	Dimensions
Family Room	1	281	19'-0" x 14'-0"
Closet	1	19	2'-3" x 5'-11"
Kitchen	1	204	13'-0" x 14'-0"
Dining Area	1	219	14'-0" x 14'-0"
Office/Study	1	212	13'-7" x 14'-4"
Kids Corner	1	95	9'-0" x 8'-4"
Mud Room	1	61	7'-0" x 8'-4"
Open Foyer	1	103	8'-6" x 11'-10"
Lav.	1	37	5'-2" x 6'-0"
Hall	1	14	3'-2" x 3'-2"
Pantry	1	13	5'-2" x 2'-0"
Chase	1	5	4'-0" x 6'-5"
Closet	1	20	2'-0" x 8'-3"
Closet	1	10	2'-0" x 3'-5"
Stairwell	1	41	3'-0" x 5'-11"
Covered Porch Area	1	132	23'-3" x 5'-11"
Laundry/Closet	1	49	6'-7" x 6'-4"
Landing	1	30	4'-11" x 5'-11"
Two Car Garage	1	507	23'-0" x 21'-5"
ADA Bedroom	1	163	12'-6" x 12'-0"
ADA Bath	1	105	7'-0" x 12'-0"
Kitchenette/Living Area	1	460	16'-1" x 22'-4"
Closet	1	15	2'-3" x 5'-3"
Lav.	1	44	6'-2" x 5'-5"
Mud Room	1	33	4'-8" x 5'-5"
Closet	1	17	2'-0" x 5'-5"
Totals		2900	

Wall Schedule					
2D Symbol	Wall Type	Floor	Cavity R-Value	Total Width	Qty
	4x2x8 Frame w/ Lap Siding - 1/2" SR	1	21	7 1/4"	15
	5x2x4 w/ 1/2" SR	1	0	4 1/2"	17
	6x2x6 w/ 1/2" SR Bearing Wall	1	0	6 1/2"	5
	6x2x10 w/ 1/2" SR Halfwall_2	1	0	10 1/4"	2
	5x2x4 w/ 1/2" SR_3	1	0	4 1/2"	9
	6x2x6 Ins. FireWall w/ 1/2" & 5/8" SR	1	21	6 5/8"	3
	9m - Deck Railing/Fence	1	0	3 1/2"	3
	5x2x4 w/ 1/2" SR Halfwall_4	1	0	4 1/2"	1

Electrical Schedule			
2D Qty	Floor	Attached To	Description
3	1	Ceiling	CO/Smoke Detector
1	1	Ceiling	Exhaust
1	1	Ceiling	Heat Detector
4	1	Wall	Porch Lantern
2	1	Ceiling	Smoke Detector
1	1	Ceiling	Basic Ceiling Fan

Closet Schedule			
Number	Floor	Label	Width
F01	1	Closet Shelf w/ Rod	143 1/2"
F02	1	Closet Shelf w/ Rod	79 13/16"
F03	1	Closet Shelf w/ Rod	71 1/4"
F04	1	Closet Shelf w/ Rod	68"
F05	1	Closet Shelf w/ Rod	79 1/2"
F06	1	Closet Shelf w/ Rod	65 1/2"

Note Schedule	
2D Symbol	Text



LIVING AREA = 2223 SQ FT  
1ST FLOOR LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:  
2021-0004-1347 Lantern Hill (39 Lantern Hill)  
Dr Cranston, RI

PROJECT NO. INFORMATION:  
2021-0004-1347 Lantern Hill (39 Lantern Hill)  
Hill Dr Cranston, RI - /Users/admin/ Dropbox (ClearVue Design)/Project Docs/ 2021-0004-1347 THE HAVEN PROJECTS/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE))

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DATE:  
5/4/21

SCALE:  
AS NOTED

SHEET OF  
3 15

SHEET:  
A-3



**DISCLAIMER:**  
This plan is for building permit and design/layout purposes. Final framing plans, framing materials and construction details may vary and will be in accordance with State Building Codes and per the contract documents. The grades shown on the house plans do not reflect the actual grades on the lot. The amount of exposed foundation and the actual number of exterior steps and garage steps will be determined on-site and at the builder's discretion.

Window Schedule												
Elev	RM Name	Label	MFG.	Qty	Flr	Top	Dimensions	R/O	Egress	Temp	Description	HDR
	Bedroom-4 Attic Trusses	2849DH	Pella-250	1	2	82 1/2"	31 1/2"x56 1/2"DH	32"x57"	Yes		Double Hung	2x10x35" (2)
	Bedroom-3	2849DH	Pella-250	2	2	82 1/2"	31 1/2"x56 1/2"DH	32"x57"	Yes		Double Hung	2x10x35" (2)
	Bath	2836DH	Pella-250	1	2	82 1/2"	31 1/2"x41 1/2"DH	32"x42"		Yes	Double Hung	2x10x35" (2)
	Bedroom-2	DH2849-2	Pella-250	1	2	82 1/2"	63 1/2"x56 1/2"	64"x57"	Yes		Mult Unit	2x10x67" (2)
	Laundry	2836DH	Pella-250	1	2	82 1/2"	31 1/2"x41 1/2"DH	32"x42"			Double Hung	2x10x35" (2)
	Master Bath	2836DH	Pella-250	2	2	82 1/2"	31 1/2"x41 1/2"DH	32"x42"	Yes		Double Hung	2x10x35" (2)
	Master Bedroom	2849DH	Pella-250	2	2	82 1/2"	31 1/2"x56 1/2"DH	32"x57"	Yes		Double Hung	2x10x35" (2)
	Open Below	Pella-350 Palladium	Pella-350	1	2	82 1/2"	70 1/2"x66"	71"x66 1/2"			Mult Unit	2x10x74" (2)
	Totals											149.91

Door Schedule												
RM Name	Label	MFG.	Qty	FLR	R/O	Type	Fire	HDR	HDR Type	EX/IN	Hinge/S	Swing/S
WASH/Closet	4466H	Generic	1	2	54 1/2"x82 1/2"	Double Hinged		2x4x57 1/2" (2)	Lumber	IN	L/R	In
WASH/Loft Area	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	In
Bedroom-2/Loft Area	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	In
Bedroom-3/Loft Area	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	In
Closet Walk-in Master Bedroom	2668 PK	Generic	1	2	62 1/2"x82 1/2"	Pocket		2x4x65 1/2" (2)	Lumber	IN	R	In
Closet Bedroom-2	5068	Generic	1	2	62 1/2"x82 1/2"	Double Hinged		2x4x65 1/2" (2)	Lumber	IN	L/R	Out
Master Bath Master Bedroom	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	In
Closet Bedroom-3 Attic Trusses	4068	Generic	1	2	50 1/2"x82 1/2"	Double Hinged		2x4x53 1/2" (2)	Lumber	IN	L/R	Out
Closet/Loft Area	3668	Generic	1	2	44 1/2"x82 1/2"	Double Hinged		2x4x47 1/2" (2)	Lumber	IN	L/R	Out
Loft Area/Loft Area	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	L	In
Loft Area Bedroom-4 Attic Trusses	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	Out
Closet Bedroom-3	5068	Generic	1	2	62 1/2"x82 1/2"	Double Hinged		2x4x65 1/2" (2)	Lumber	IN	L/R	Out
Master Bedroom/Loft Area	2668 H	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	L	In
Bath/WASH	2668PK	Generic	1	2	62 1/2"x81 1/2"	Pocket		2x4x65 1/2" (2)	Lumber	IN	R	Out

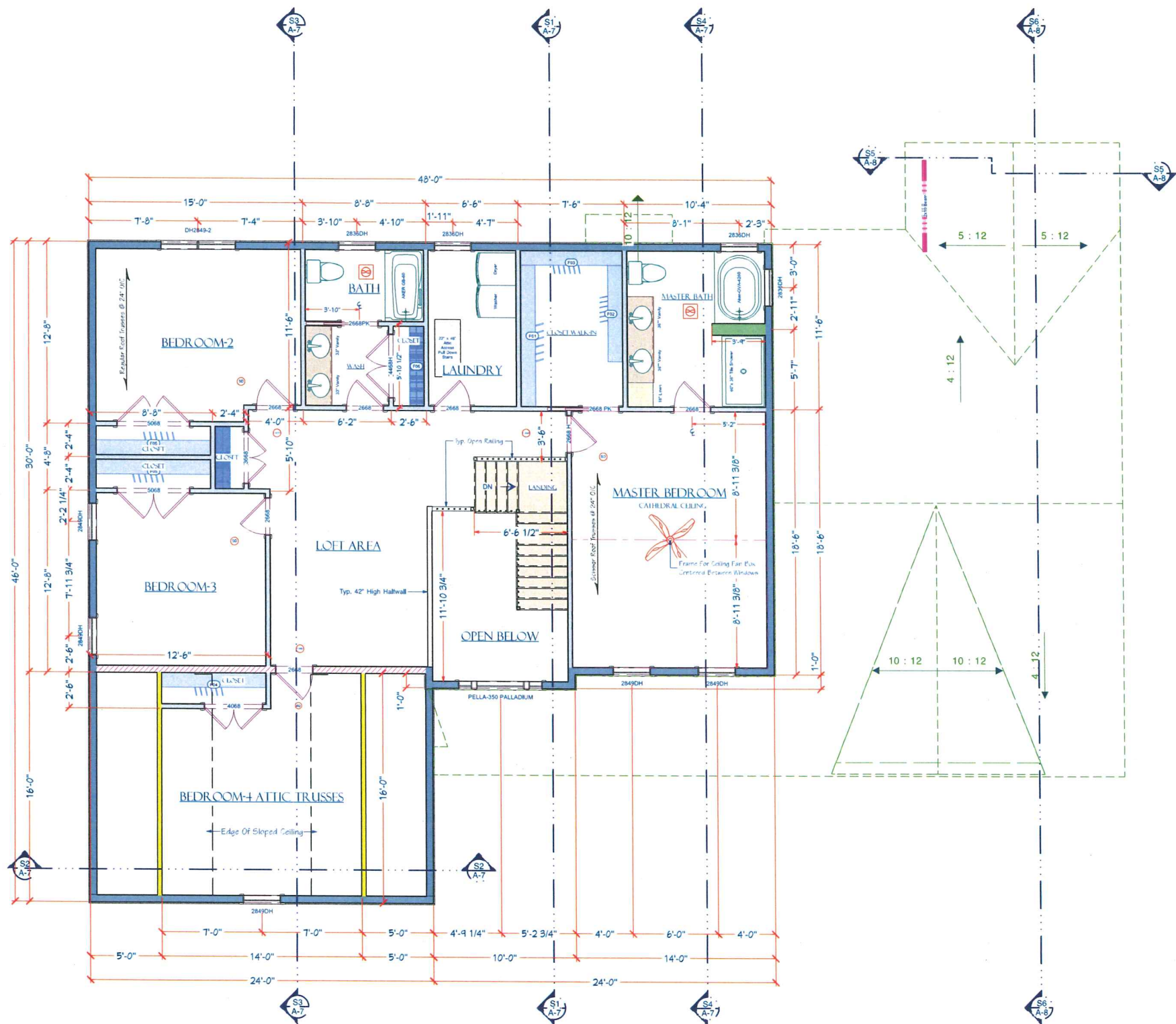
Living Area Schedule			
Room Name	Floor	Area, Standard (sq ft)	Dimensions
Attic Trusses	2	75	4'-3" x 15'-5"
WASH	2	36	5'-10" x 5'-5"
Bedroom-2	2	185	14'-4" x 12'-9"
Bedroom-3	2	157	11'-10" x 12'-9"
Bedroom-4 Attic Trusses	2	216	13'-11" x 13'-0"
Closet	2	15	8'-0" x 5'-5"
Closet	2	20	7'-3" x 2'-1"
Bath	2	49	8'-4" x 4'-11"
Closet Walk-in	2	86	7'-2" x 10'-10"
Laundry	2	75	6'-2" x 10'-10"
Loft Area	2	265	11'-0" x 17'-10"
Master Bath	2	119	9'-11" x 10'-10"
Master Bedroom	2	265	13'-4" x 17'-10"
Open Below	2	145	9'-5" x 15'-4"
Closet	2	11	2'-0" x 4'-5"
Closet	2	20	8'-0" x 2'-0"
Totals		1834	

Closet Schedule			
Number	Floor	Label	Qty
F01	2	Closet Shelf w/ Rod	1
F02	2	Closet Shelf w/ Rod	1
F03	2	Closet Shelf w/ Rod	1
F04	2	Closet Shelf w/ Rod	1
F05	2	Closet Shelf w/ Rod	2
F06	2	Wire Shelf	4
F07	2	Wire Shelf	4

Note Schedule	
2D Symbol	Text

Wall Schedule					
2D Symbol	Wall Type	Floor	Cavity R-Value	Total Width	Qty
4a	2x6 Frame w/ Lap Siding - 1/2" SR	2	21	7 1/4"	14
5e	2x4 w/ 1/2" SR	2	0	4 1/2"	16
6m	4a - 2x6 Frame w/ Siding - Attic	2	21	6 3/4"	1
5f	2x4 w/ 1/2" SR 1 Side	2	0	4"	2
7i	Interior Railing	2	0	4 1/2"	1
7i	Interior Railing_4	2	0	4 1/2"	1
5e	2x4 w/ 1/2" SR Halfwall_2	2	0	4 1/2"	1
6m	2x10 w/ 1/2" SR Wetwall	2	0	10 1/4"	1
4a	2x6 Frame w/ Siding - 1/2" SR_2	2	21	7 1/4"	2

Electrical Schedule		
2D Qty	Floor	Description
3	2	Ceiling CO/Smoke Detector
2	2	Ceiling Exhaust
1	2	Ceiling Silverado
4	2	Ceiling Smoke Detector



LIVING AREA = 1684 SQ FT  
2ND FLOOR LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:  
2021-0004-1347 Lantern Hill (39) Lantern Hill  
Dr. Cranston, RI

PROJECT NO. INFORMATION:  
2021-0004-1347 Lantern Hill (39) Lantern Hill Dr. Cranston, RI  
Dropbox (Clearview Design Projects) AT LANTERN HILL 2021-0004-1347 Lantern Hill (39) Lantern Hill (39) Lantern Hill (39)

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PHILIP C. CALABRO  
ARCHITECT  
INC.

DRAWN BY:

Philip C. Calabro

DATE:

5/4/21

SCALE:

AS NOTED

SHEET OF

4 15

SHEET:

A-4



Architectural elevation drawing of a two-story house. The drawing includes detailed dimensions for various parts of the structure, such as the roof pitch (3:12), window heights, and foundation levels. Key features include a central arched window above the entrance, a dormer on the right side, and a chimney on the left. The drawing is labeled with various window and door models, such as 'PELLA-350 PALLADIUM' and 'THERMATRU 356/135-137'. The overall dimensions are 11'-4 5/8" wide and 7'-10" high.

[illegible]

PROJECT TITLE:  
2021-0004-1347\_Lantern\_Hill (39\_Lantern\_Hill  
Dr.Cranston, RI )

**PROJECT NUM. INFORMATION:**  
121-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI ) - /Users/admin/boxbox (Clearvue Design)/Project Docs/0113-0047 (THE HAVEN PROJECTS)/ATANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

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# CLEAR TYPE DESIGNING

DRAWN BY:

Philip C. Calabro

DATE \_\_\_\_\_

SCALE

AS NOTED

SHEET	OF
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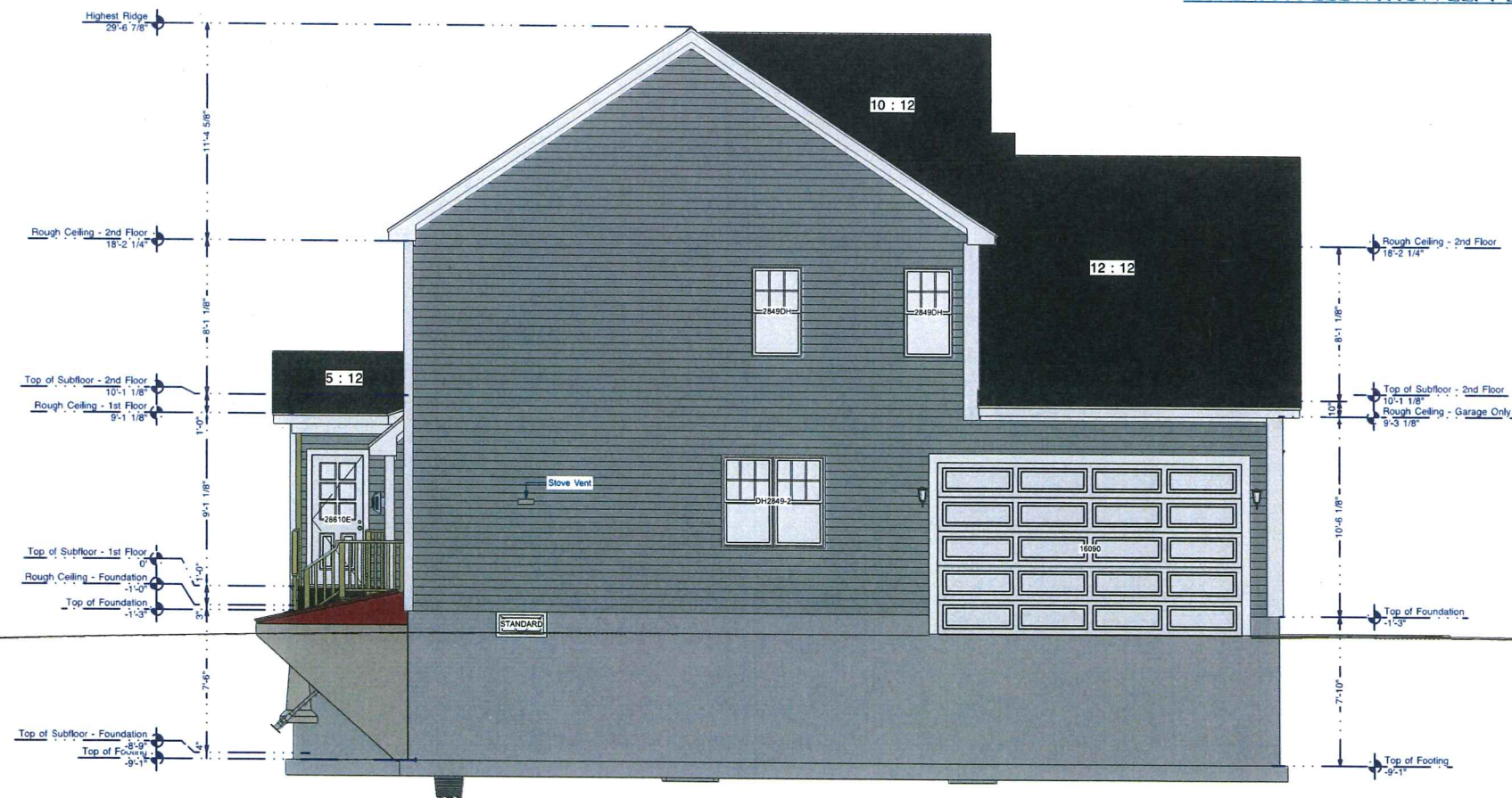
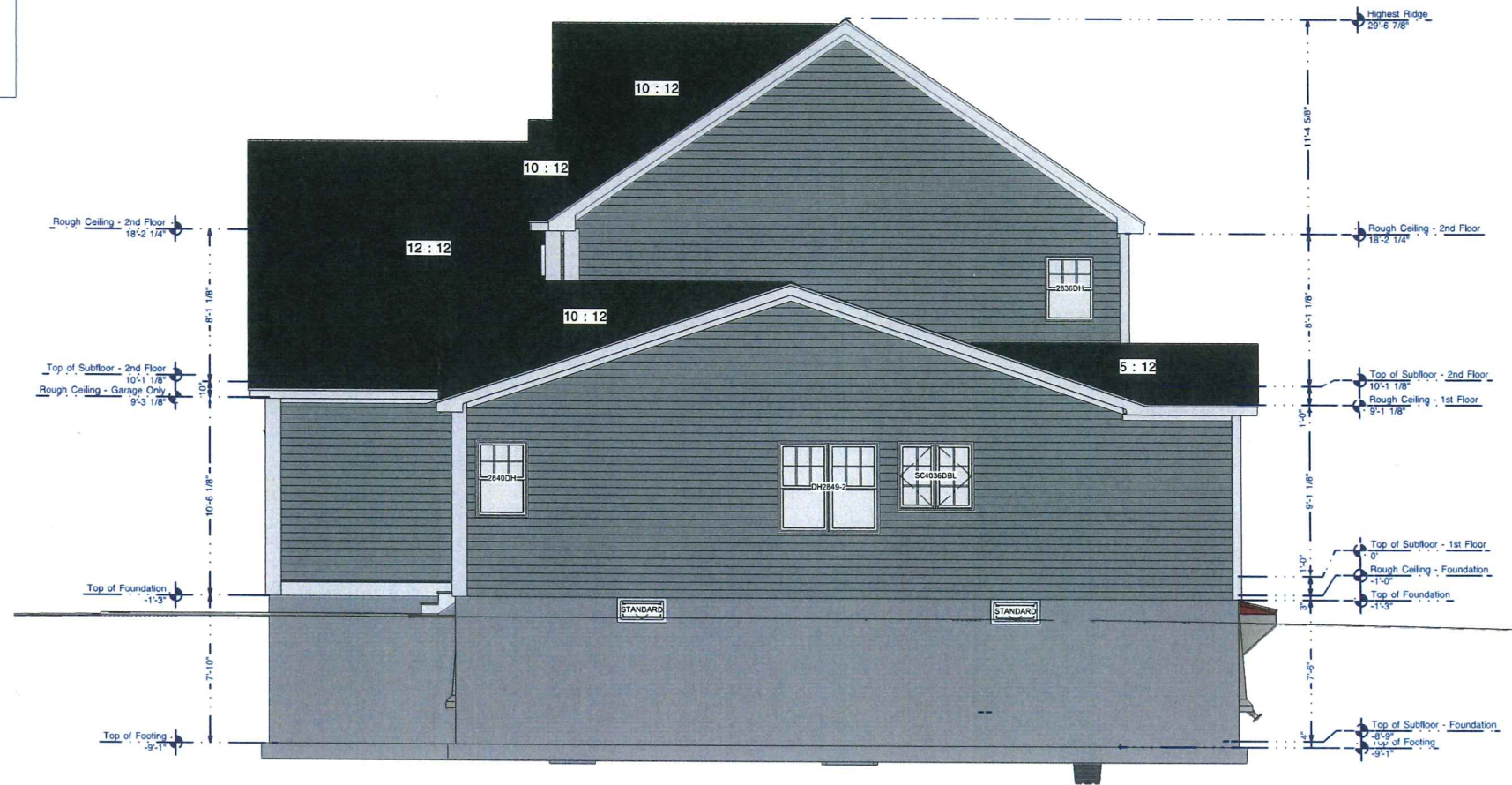
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SHEET

A-5



**DISCLAIMER:**  
This plan is for building permit and design/layout purposes. Final framing plans, framing materials and construction details may vary and will be in accordance with State Building Codes and per the contract documents. The grades shown on the house plans do not reflect the actual grades on the lot. The amount of exposed foundation and the actual number of exterior steps and garage steps will be determined on-site and at the builder's discretion.

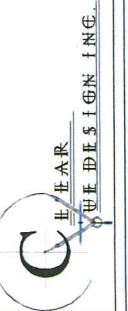


**PROJECT TITLE:**  
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI)

**PROJECT NUL INFORMATION:**  
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - /Users/eamu/Dropbox (ClearVue Design Projects)/2015-004 (THE HAVEN COLONIAL)/LANTERN HILL 2021-0004-1347 (Lot-39 Haven Colonial (LSE)

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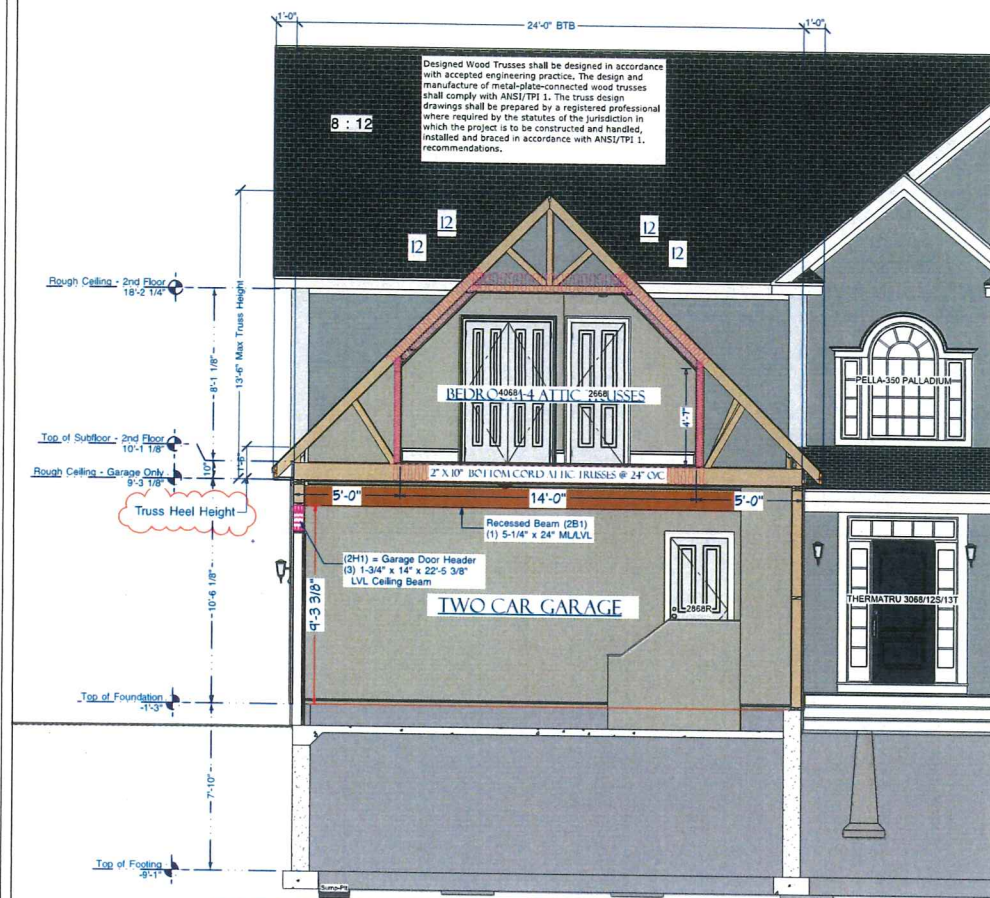
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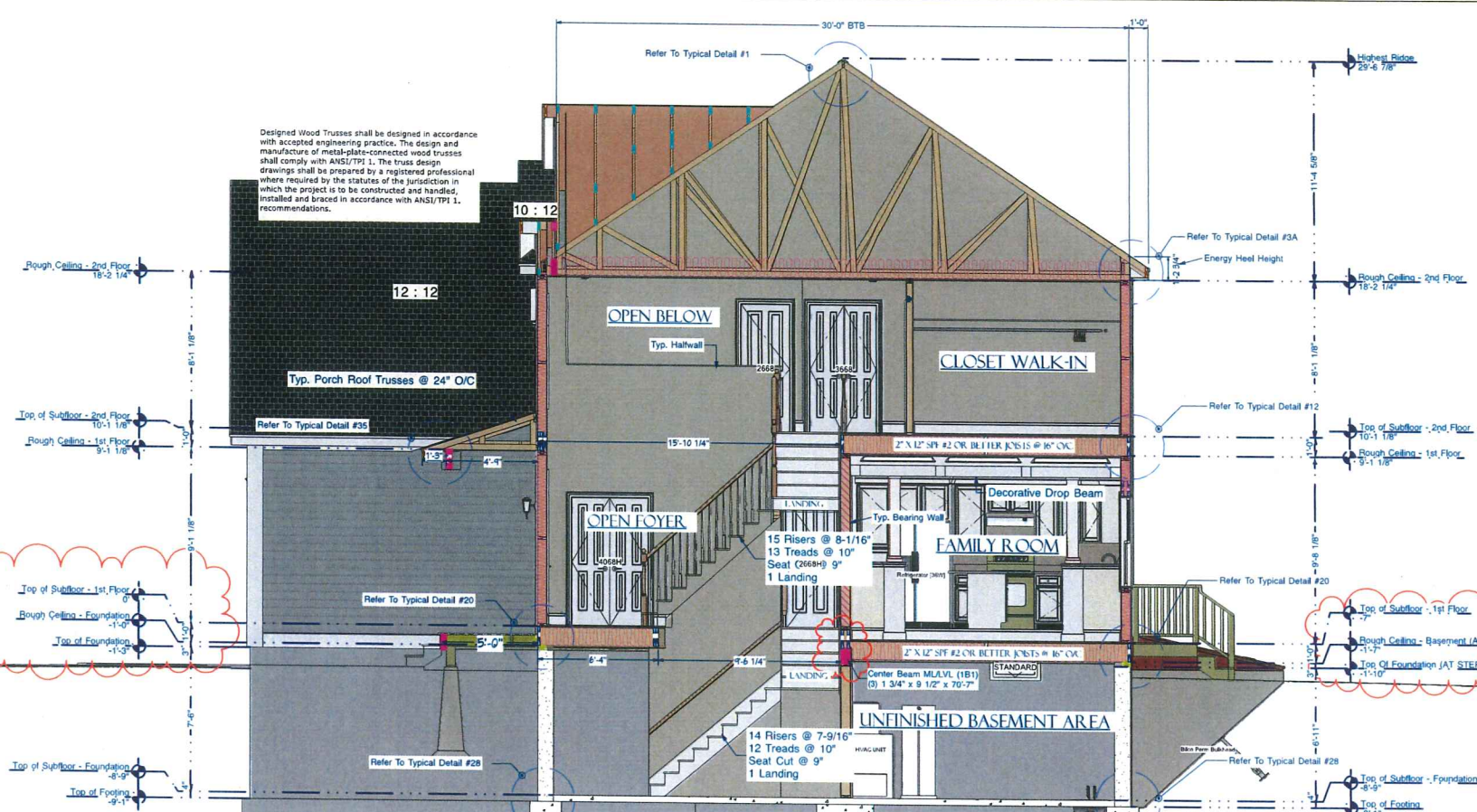
**DRAWN BY:**  
Philip C. Calabro  
**DATE:**  
5/4/21  
**SCALE:**  
AS NOTED  
**SHEET OF**  
6 15  
**SHEET:**

**A-6**

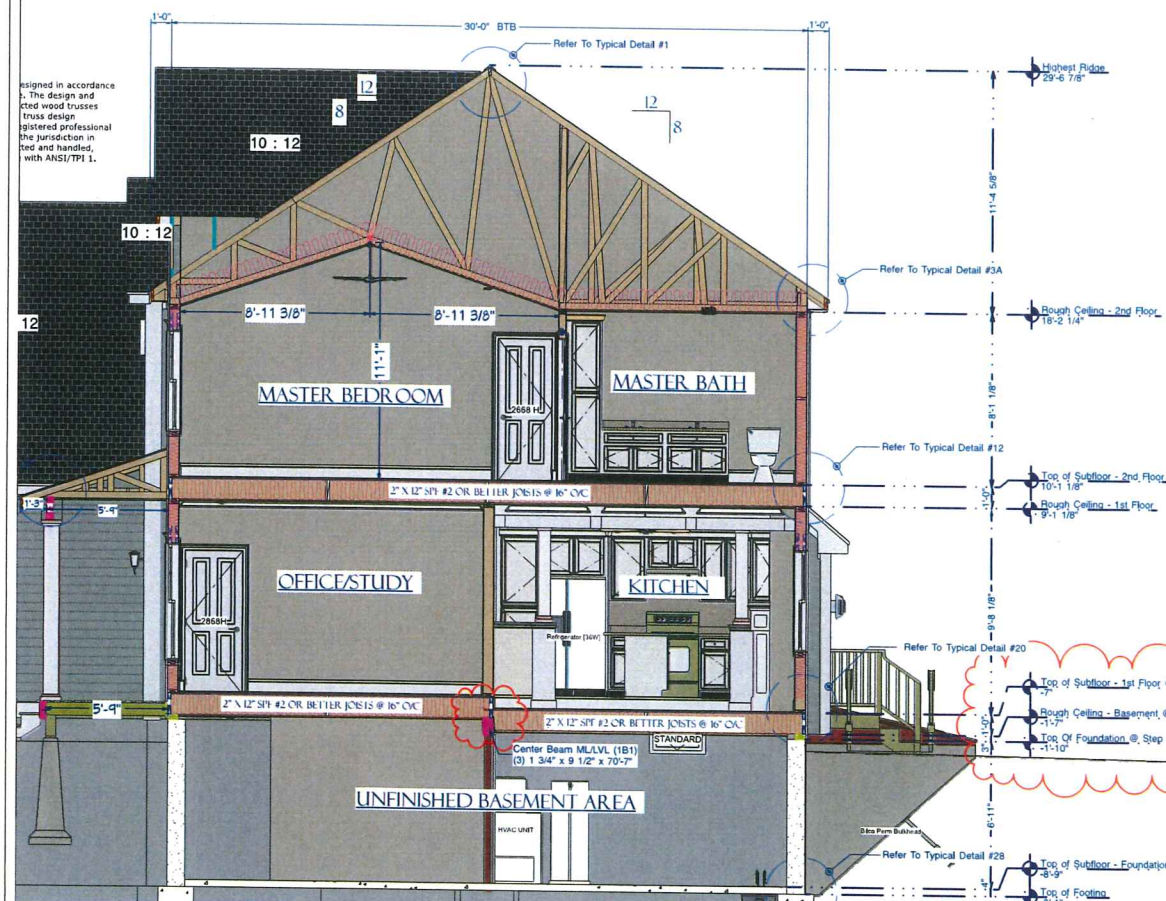




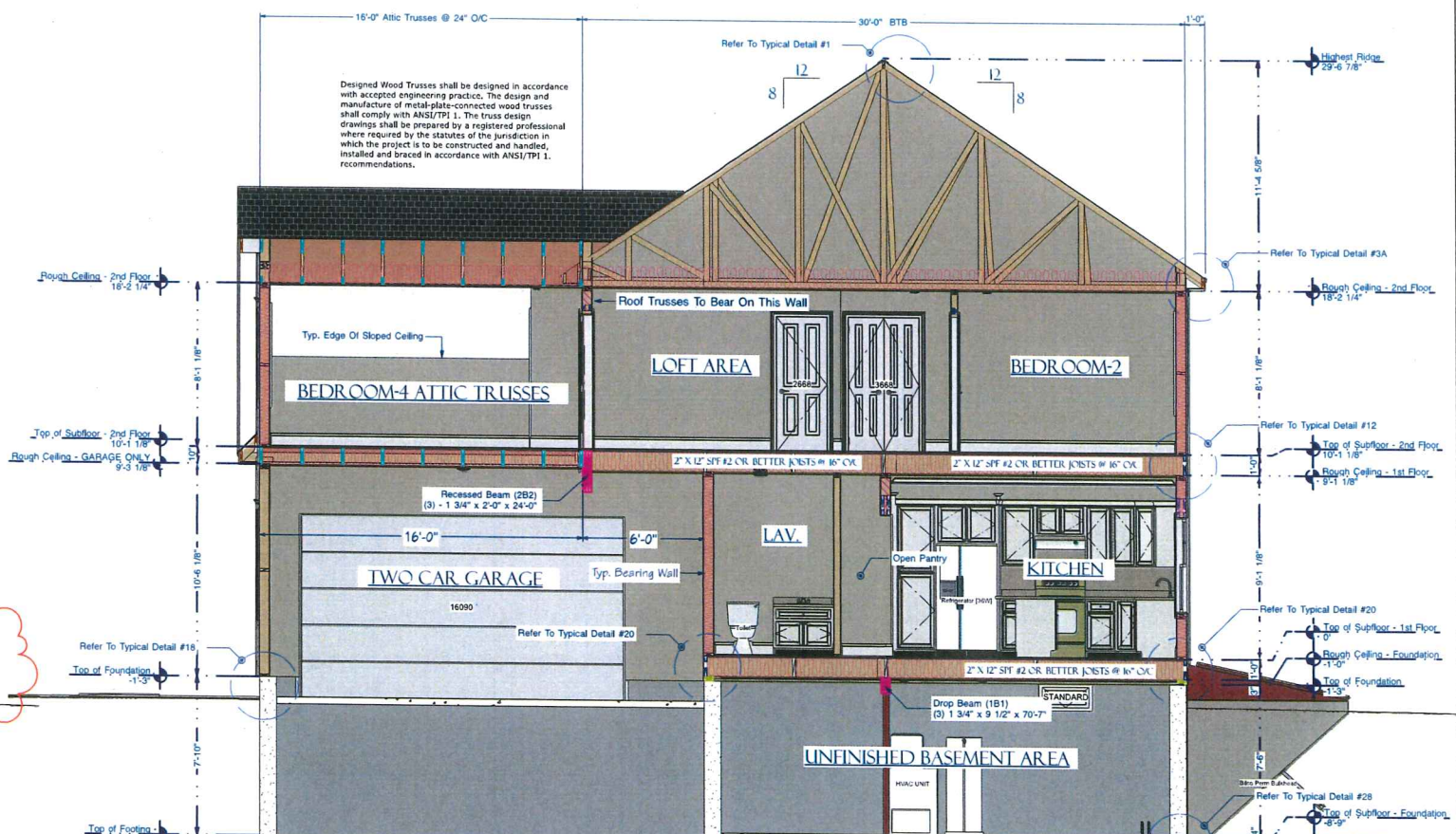
CROSS SECTION DETAIL VIEW S2 ~ 1/4 IN = 1 FT



CROSS SECTION DETAIL VIEW S1 ~ 1/4 IN = 1 FT



CROSS SECTION DETAIL VIEW S4 ~ 1/4 IN = 1 FT



CROSS SECTION DETAIL VIEW S3 ~ 1/4 IN = 1 FT

PROJECT TITLE:

2021-0004-1347 Lantern Hill (39 Lantern Hill  
Dr Cranston, RI)

**PROJECT NO. INFORMATION:**  
1-0004-1347 Lantern Hill (39 Lantern Hill)

**PROJECT NU. INFORMATION:**  
20201-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - /Users/admin/ Dropbox (Clearvue Docs)/Project Docs/ 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

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ClearVue Design Inc.  
Philip C. Calabro

HEARST  
DESIGN INC.

DRAWN BY:

Philip C. Calabro

DATE:

5/4/21

5/4/21

SCALE:

AS NOTED

SHEET	OF
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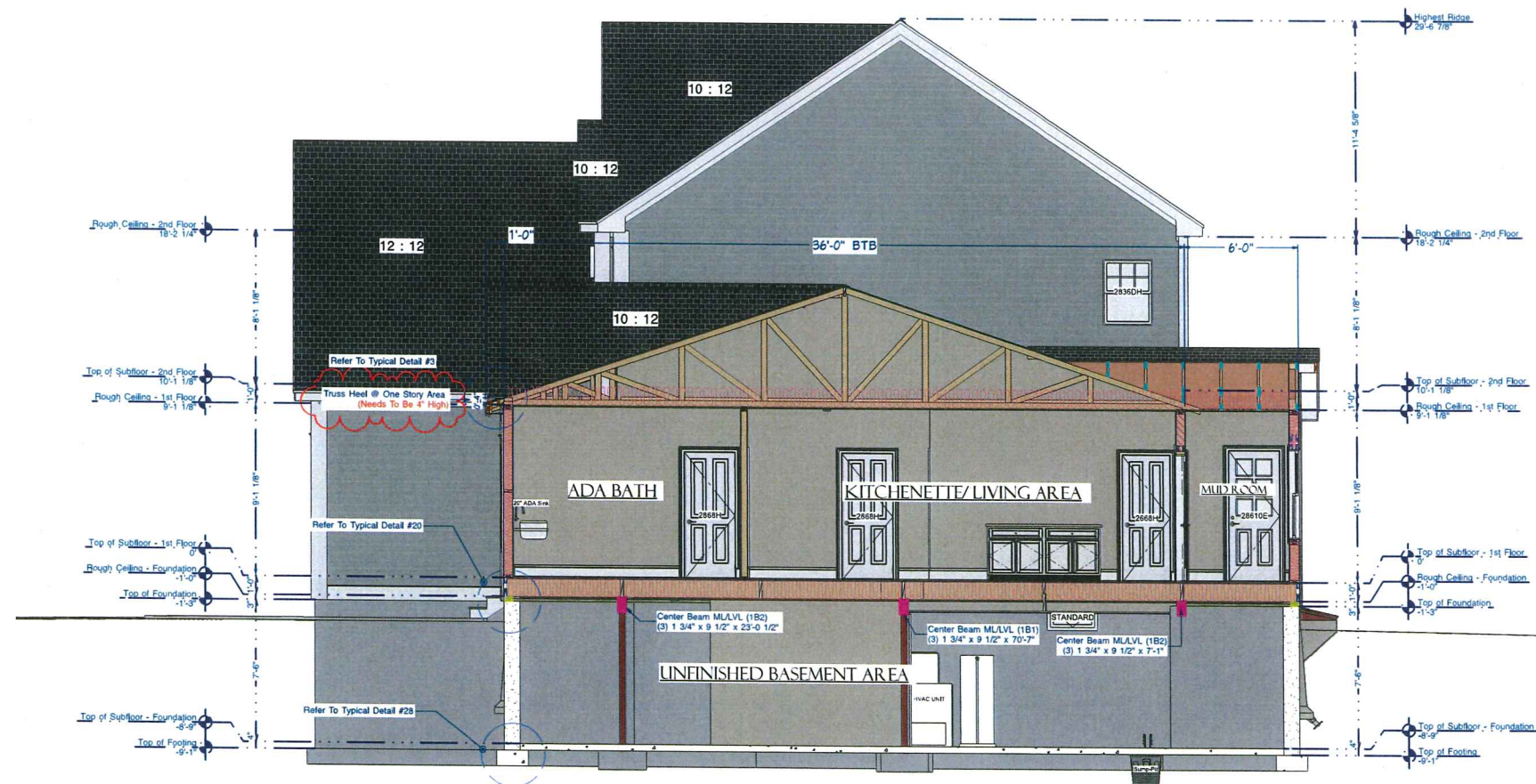
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7	15





CROSS SECTION DETAIL VIEW S5 ~ 1/4 IN = 1 FT



CROSS SECTION DETAIL VIEW S6 ~ 1/4 IN = 1 FT

PROJECT TITLE:  
2021-0004-1347 Lantern Hill (39 Lantern Hill)  
Dr. Cranston, RI

PROJECT NO. INFORMATION:  
2021-0004-1347 Lantern Hill (39 Lantern Hill)  
Dr. Cranston, RI  
Dropbox: (Classroom Design)/PROJECTS/AT  
2013-0047 (THE HAVEN PROJECTS)/AT  
LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE))

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DATE: 5/4/21  
SCALE: AS NOTED  
SHEET 8 OF 15  
SHEET: A-8

DRAWN BY:  
Philip C. Calabro

DATE:  
5/4/21

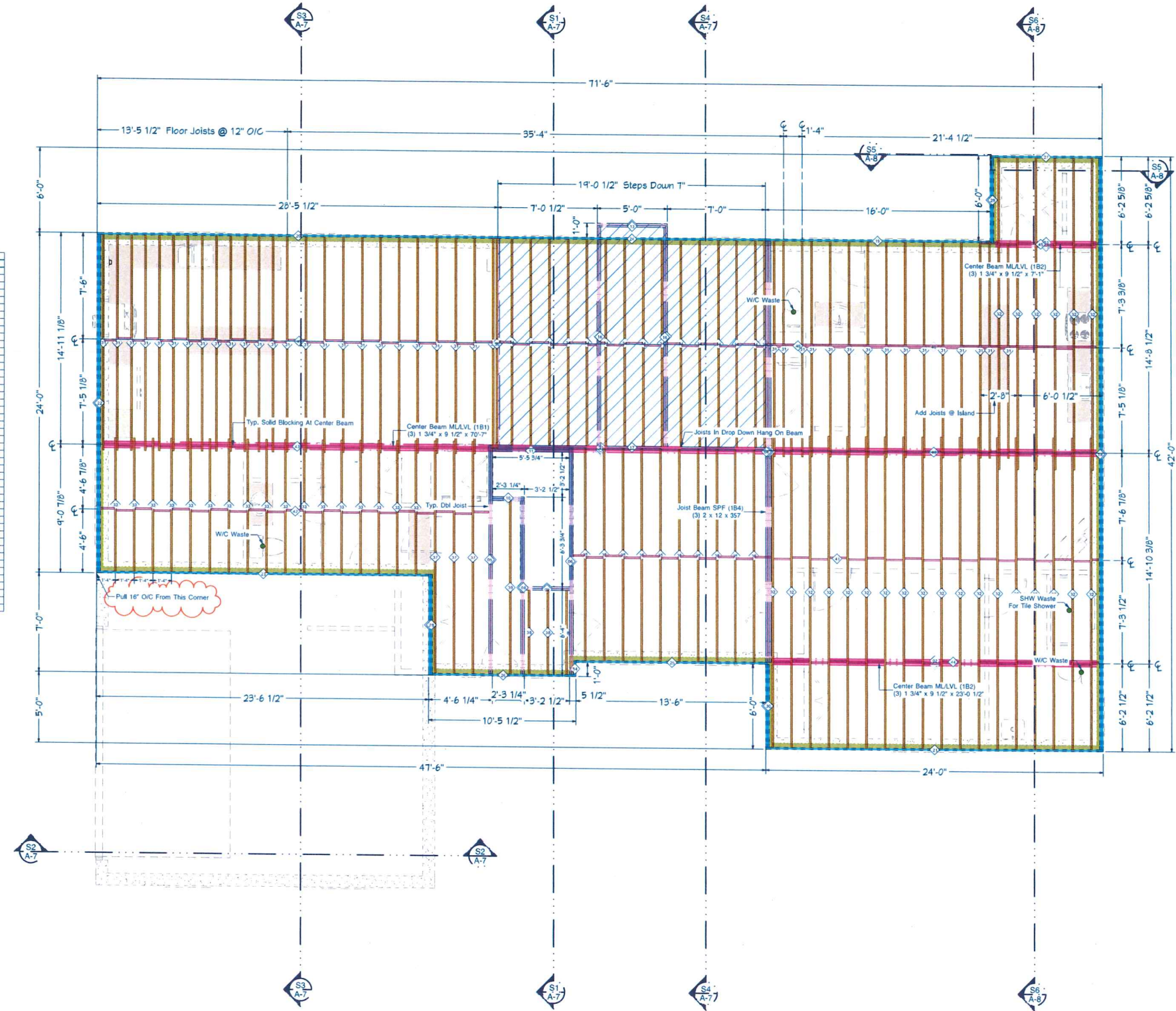
SCALE:  
AS NOTED

SHEET 8 OF 15

SHEET: A-8



Floor Framing Schedule				
Num	Name	Qty	Nominal	Material
01	Floor Beam	3	1 3/4 x 9 1/2	Structural MLVL
02	Floor Beam	3	1 3/4 x 9 1/2	Structural MLVL
03	Floor Beam	3	1 3/4 x 9 1/2	Structural MLVL
04	Floor Joist	3	2x12	Structural SPF #2 Or Better
05	Floor Joist	2	2x12	Structural SPF #2 Or Better
06	Floor Joist	2	2x12	Structural SPF #2 Or Better
07	Floor Joist	1	2x12	Structural SPF #2 Or Better
08	Floor Joist	2	2x12	Structural SPF #2 Or Better
09	Floor Joist	2	2x12	Structural SPF #2 Or Better
10	Floor Joist	2	2x12	Structural SPF #2 Or Better
11	Floor Joist	1	2x12	Structural SPF #2 Or Better
12	Floor Joist	1	2x12	Structural SPF #2 Or Better
13	Floor Joist	1	2x12	Structural SPF #2 Or Better
14	Floor Joist	1	2x12	Structural SPF #2 Or Better
15	Floor Joist	2	2x12	Structural SPF #2 Or Better
16	Floor Joist	2	2x12	Structural SPF #2 Or Better
17	Floor Joist	1	2x12	Structural SPF #2 Or Better
18	Floor Joist	2	2x12	Structural SPF #2 Or Better
19	Floor Joist	1	2x12	Structural SPF #2 Or Better
20	Floor Joist	1	2x12	Structural SPF #2 Or Better
21	Floor Joist	1	2x12	Structural SPF #2 Or Better
22	Floor Joist	2	2x12	Structural SPF #2 Or Better
23	Floor Joist	1	2x12	Structural SPF #2 Or Better
24	Floor Joist	1	2x12	Structural SPF #2 Or Better
25	Floor Joist	1	2x12	Structural SPF #2 Or Better
26	Floor Joist	1	2x12	Structural SPF #2 Or Better
27	Floor Joist	1	2x12	Structural SPF #2 Or Better
28	Floor Joist	2	2x12	Structural SPF #2 Or Better
29	Floor Joist	2	2x12	Structural SPF #2 Or Better
30	Floor Joist	2	2x12	Structural SPF #2 Or Better
31	Floor Joist	39	2x12	SPF #2 Or Better Floor Joists
32	Floor Joist	24	2x12	SPF #2 Or Better Floor Joists
33	Floor Joist	17	2x12	SPF #2 Or Better Floor Joists
34	Floor Joist	15	2x12	SPF #2 Or Better Floor Joists
35	Floor Joist	10	2x12	SPF #2 Or Better Floor Joists
36	Floor Joist	2	2x12	SPF #2 Or Better Floor Joists
37	Floor Joist	3	2x12	SPF #2 Or Better Floor Joists
38	Floor Joist	3	2x12	SPF #2 Or Better Floor Joists
39	Floor Joist	1	2x12	SPF #2 Or Better Floor Joists
40	Floor Blocking	1	2x12	SPF #2 Or Better
41	Floor Blocking	1	2x12	SPF #2 Or Better
42	Floor Blocking	1	2x12	SPF #2 Or Better
43	Floor Blocking	1	2x12	SPF #2 Or Better
44	Floor Blocking	1	2x12	SPF #2 Or Better
45	Floor Blocking	1	2x12	SPF #2 Or Better
46	Floor Blocking	2	2x12	SPF #2 Or Better
47	Floor Blocking	1	2x12	SPF #2 Or Better



1ST FLOOR FRAMING LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:  
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Dr. Cranston, RI

PROJECT INFORMATION:  
2021-0004-1347 Lantern Hill (39 Lantern Hill)  
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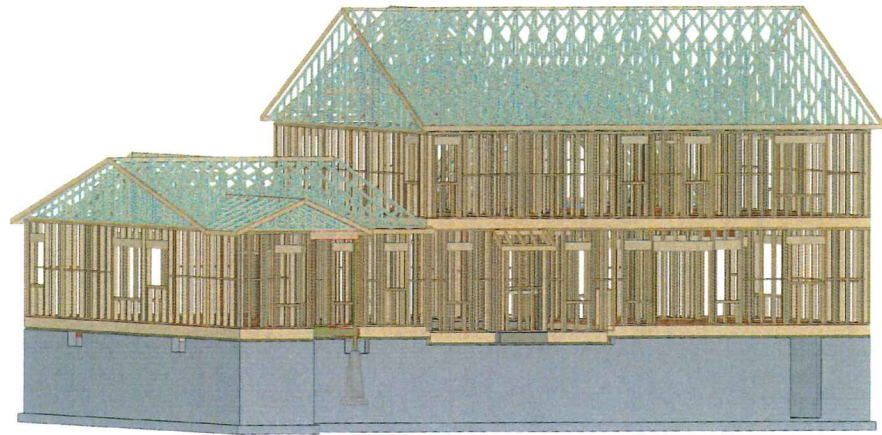
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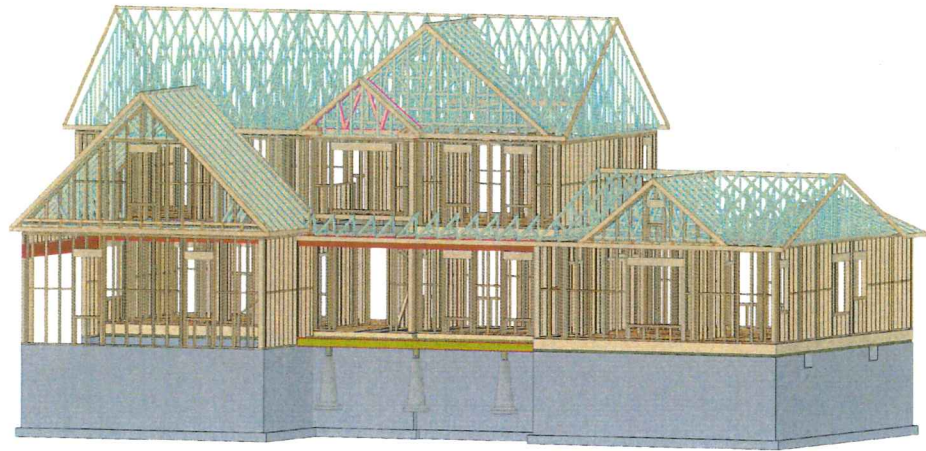
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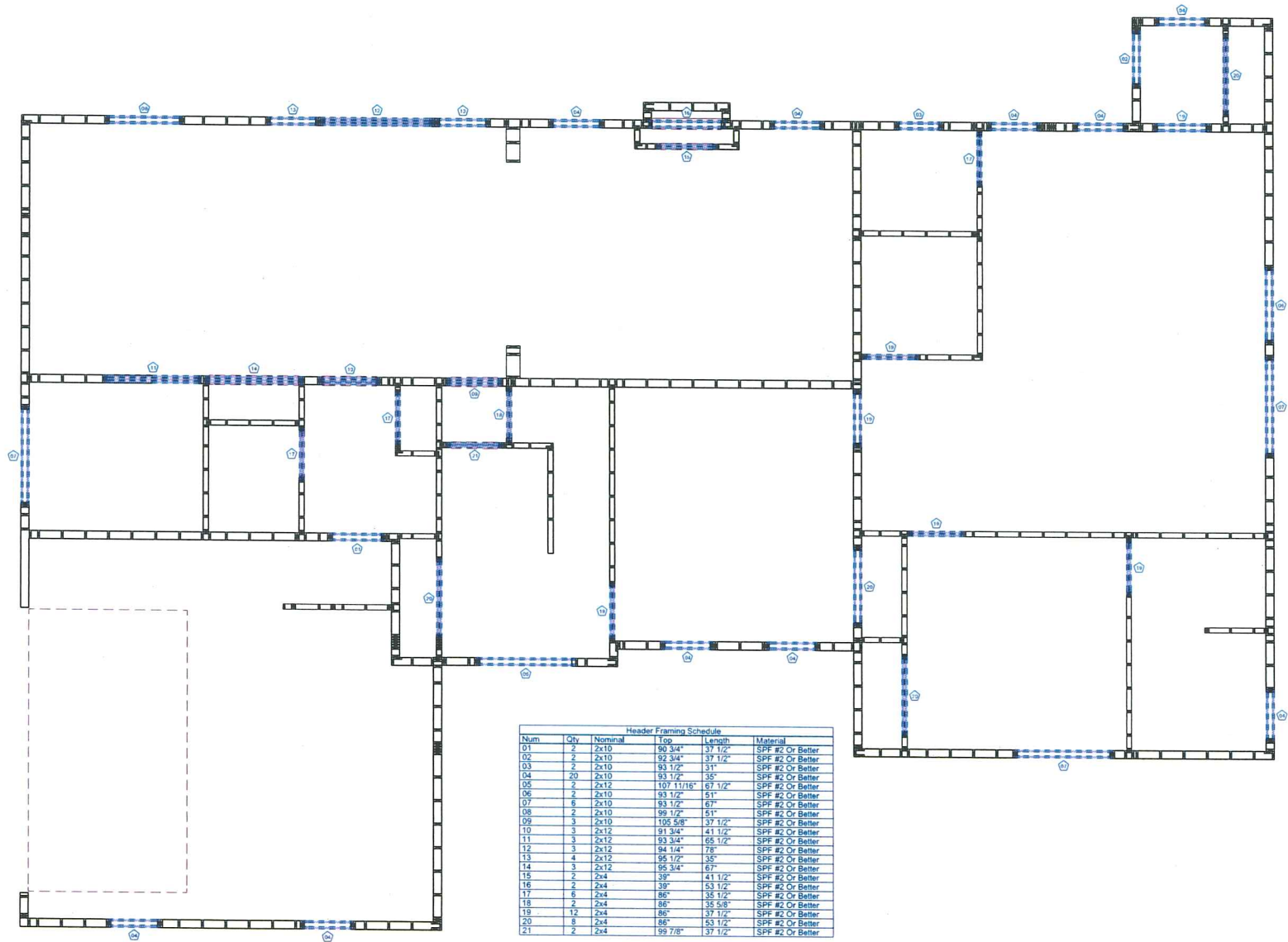




FRAMING CAMERA -1



FRAMING CAMERA -2



Header Framing Schedule					
Num.	Qty	Nominal	Length	Material	
01	2	2x10	90 3/4"	37 1/2"	SPP #2 Or Better
02	2	2x10	92 3/4"	37 1/2"	SPP #2 Or Better
03	2	2x10	93 1/2"	37"	SPP #2 Or Better
04	20	2x10	93 1/2"	35"	SPP #2 Or Better
05	2	2x12	107 11/16"	67 1/2"	SPP #2 Or Better
06	2	2x10	93 1/2"	51"	SPP #2 Or Better
07	6	2x10	93 1/2"	67"	SPP #2 Or Better
08	2	2x10	99 1/2"	51"	SPP #2 Or Better
09	3	2x10	105 5/8"	37 1/2"	SPP #2 Or Better
10	3	2x12	91 3/4"	41 1/2"	SPP #2 Or Better
11	3	2x12	93 3/4"	65 1/2"	SPP #2 Or Better
12	3	2x12	94 1/4"	78"	SPP #2 Or Better
13	4	2x12	95 1/2"	35"	SPP #2 Or Better
14	3	2x12	95 3/4"	67"	SPP #2 Or Better
15	2	2x4	39"	41 1/2"	SPP #2 Or Better
16	2	2x4	39"	53 1/2"	SPP #2 Or Better
17	6	2x4	86"	35 1/2"	SPP #2 Or Better
18	2	2x4	86"	35 5/8"	SPP #2 Or Better
19	12	2x4	86"	37 1/2"	SPP #2 Or Better
20	6	2x4	86"	53 1/2"	SPP #2 Or Better
21	2	2x4	99 7/8"	37 1/2"	SPP #2 Or Better

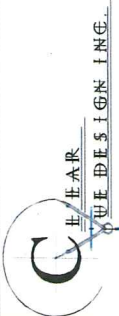
1ST FLOOR WALL & HEADER FRAMING PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:  
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI)  
Dr Cranston, RI

PROJECT NO. INFORMATION:  
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - /Users/admin/Dropbox (ClearVue Design)/PROJECTS/AT 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

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PROJECT TITLE:  
2021-0004-1347\_Lantern\_Hill (39\_Lantern\_Hill  
Dr\_Cranston, RI.)

**PROJECT NU. INFORMATION:**  
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - /Users/admin/ Dropbox (Clearvue Design)/Project Docs/ 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

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QUE DESIGN INC.

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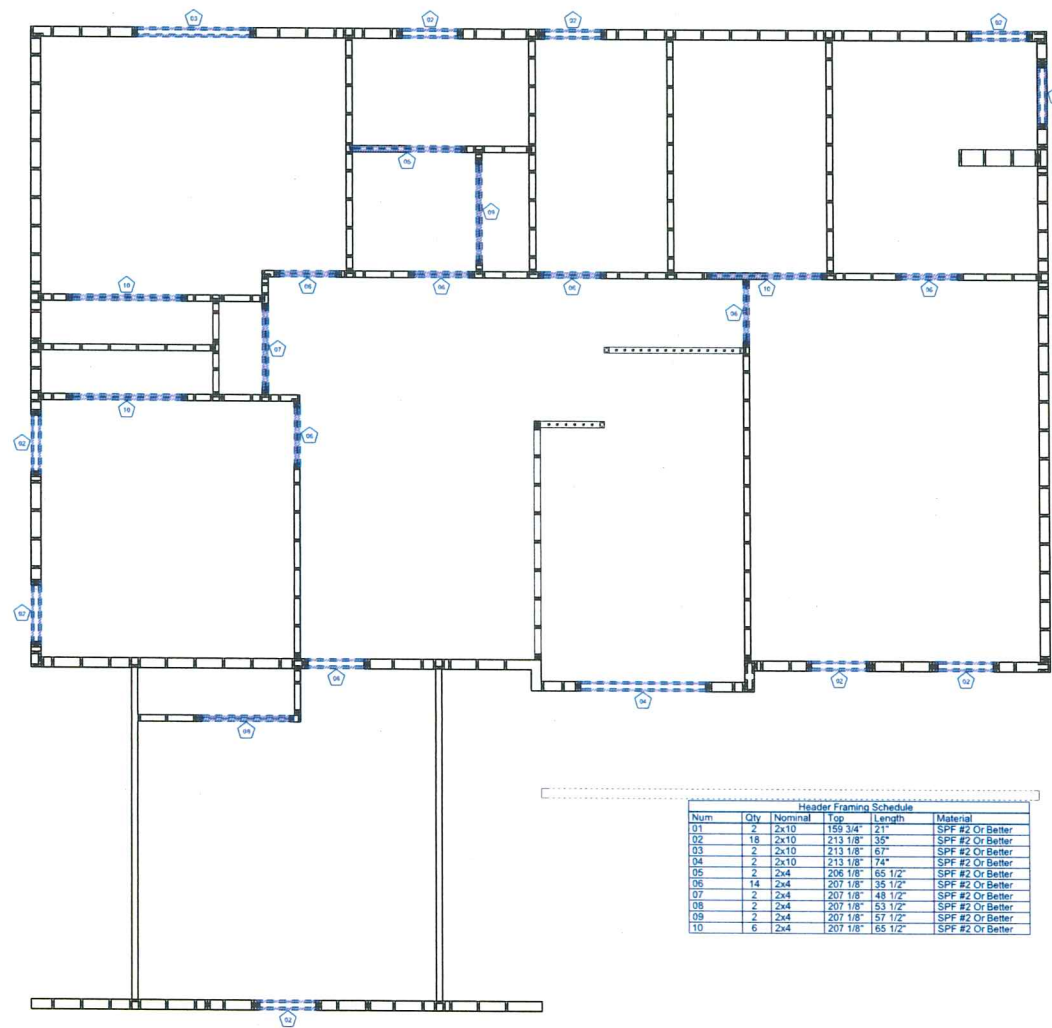
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Header Framing Schedule					
Num	Qty	Nominal	Type	Length	Material
01	2	2x10	159 3/4"	21'	SPF #2 Or Better
02	18	2x10	213 1/8"	35'	SPF #2 Or Better
03	2	2x10	213 1/8"	67"	SPF #2 Or Better
04	2	2x10	213 1/8"	74"	SPF #2 Or Better
05	2	2x4	206 1/8"	65 1/2"	SPF #2 Or Better
06	14	2x4	207 1/8"	35 1/2"	SPF #2 Or Better
07	2	2x4	207 1/8"	48 1/2"	SPF #2 Or Better
08	2	2x4	207 1/8"	53 1/2"	SPF #2 Or Better
09	2	2x4	207 1/8"	57 1/2"	SPF #2 Or Better
10	6	2x4	207 1/8"	65 1/2"	SPF #2 Or Better

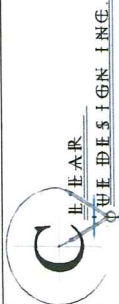
2ND FLOOR WALL & HEADER FRAMING PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:  
2021-0004-1347 Lantern Hill (39 Lantern Hill  
Dr Cranston, RI)

PROJECT NO. INFORMATION:  
2021-0004-1347 Lantern Hill (39 Lantern  
Hill Dr Cranston, RI /Users/admin/  
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2013-0047 (THE HAVEN PROJECTS)\AT  
LANTEH HILL\2021-0004-1347 Lantern  
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Philip C. Calabro

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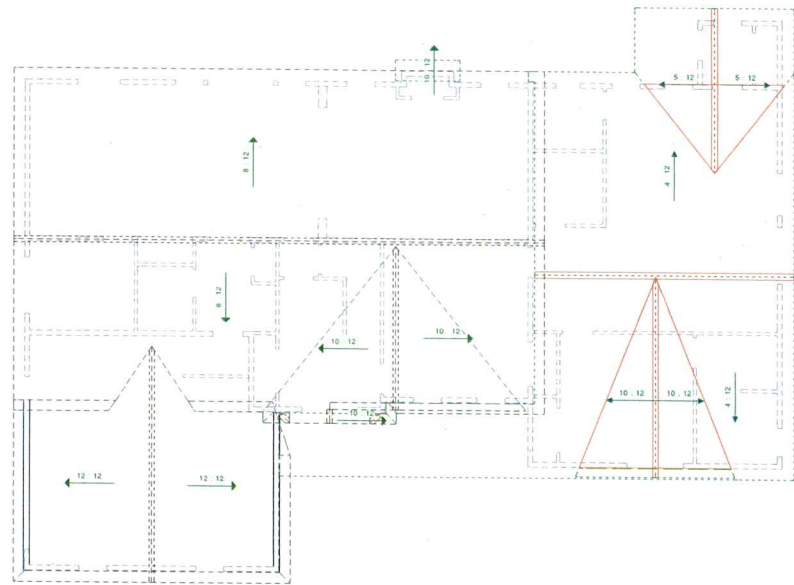
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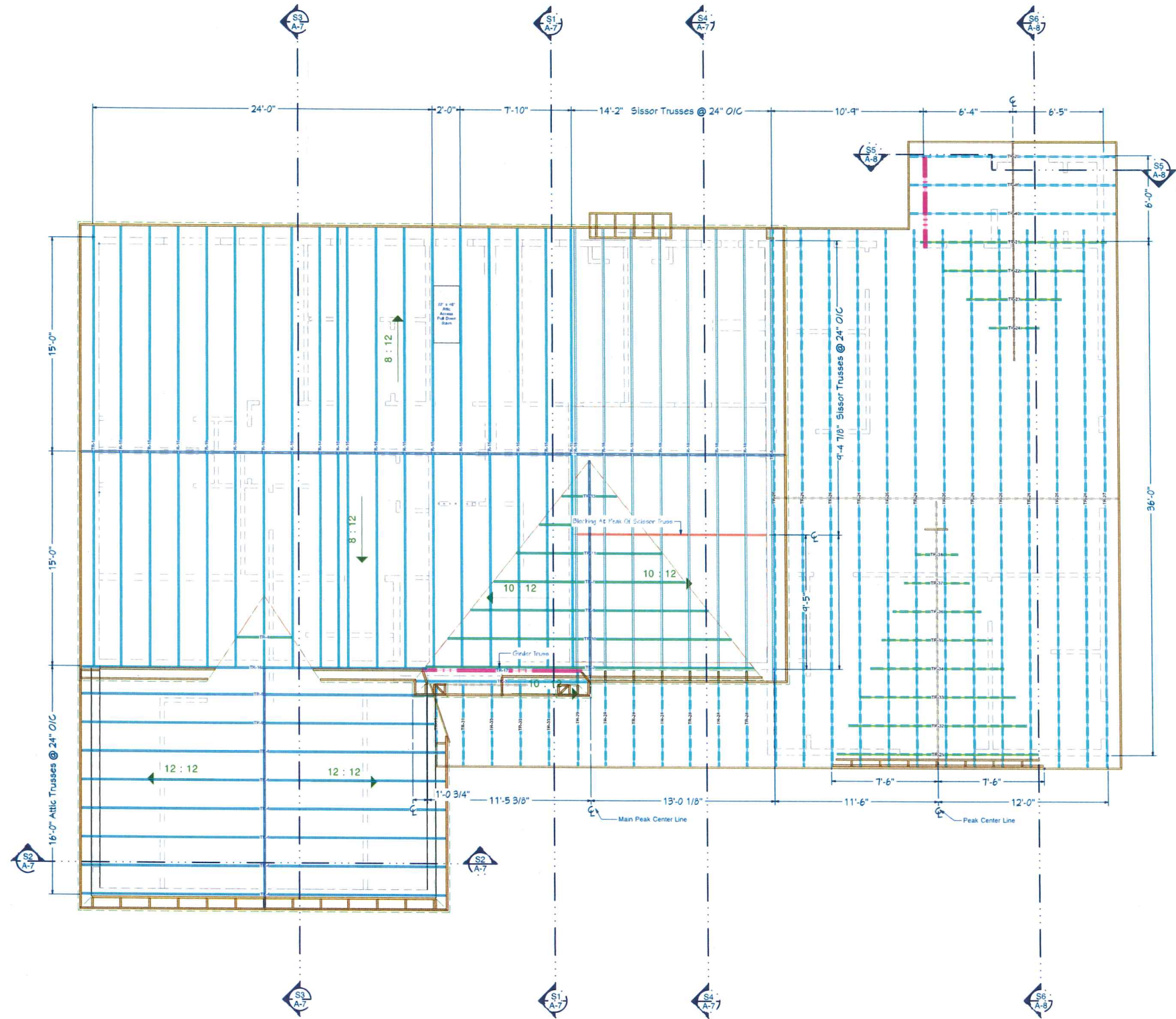
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ROOF OVER VIEW LAYOUT PLAN ~ SCALE = 1/8 IN = 1 FT



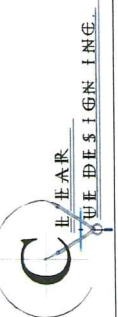
ROOF FRAMING LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:  
2021-0004-1347 Lantern Hill (39) Lantern Hill  
Dr Cranston, RI

PROJECT NLI INFORMATION:  
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2021-0004-1347 THE HAVEN PROJECTS/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39) Haven Colonial (LSE)

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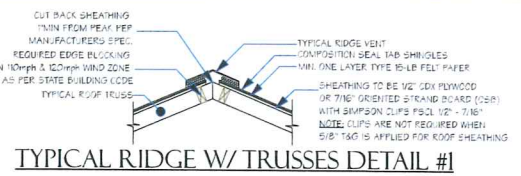
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Email: phil@clearviedesign.com



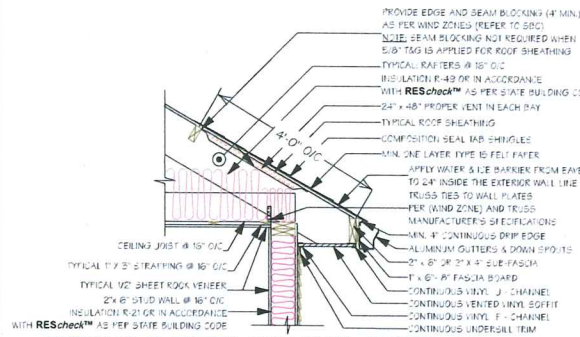
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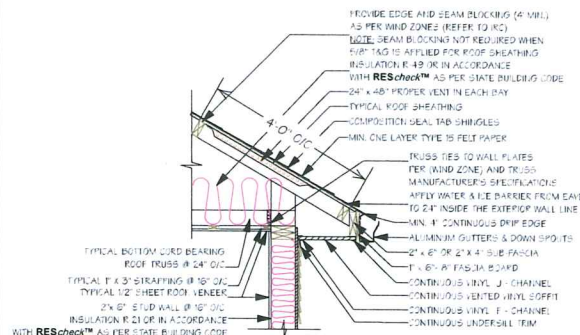




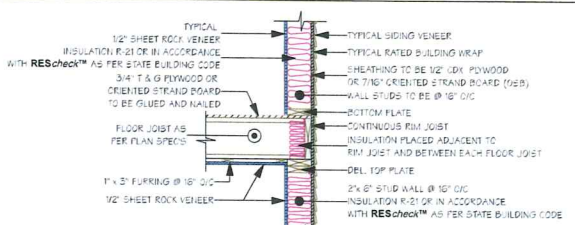
TYPICAL RIDGE W/ RAFTERS DETAIL #1-A



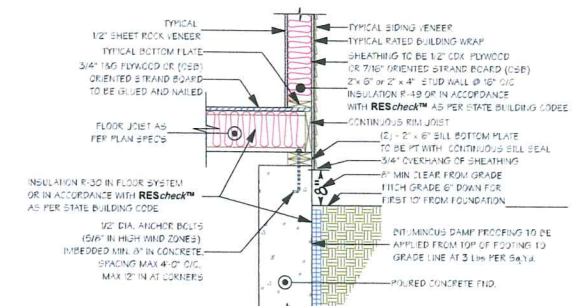
TYPICAL TRUSS W/ VINYL SOFFIT DETAIL #3



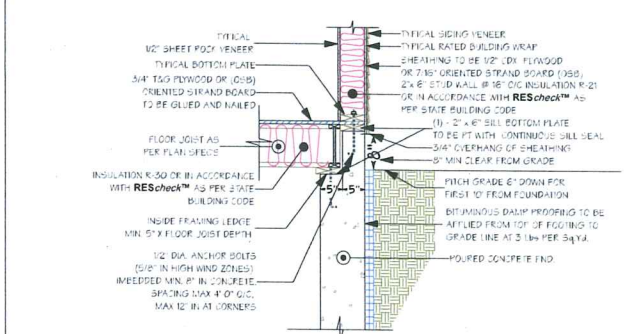
TYPICAL RAFTER TO FLOOR DECK DETAIL #04



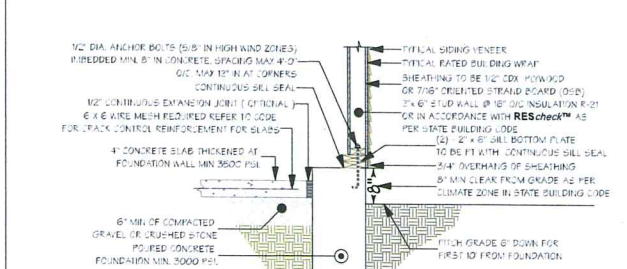
TYPICAL FLOOR TO FOUNDATION DETAIL #20



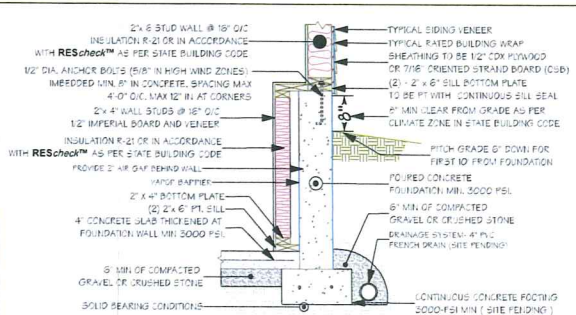
TYPICAL FLOOR TO FOUNDATION LEDGE DETAIL #21



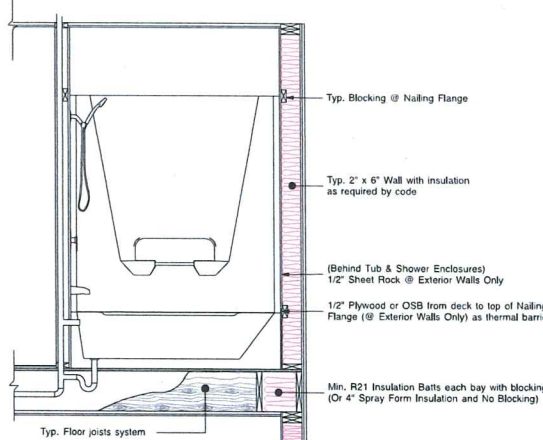
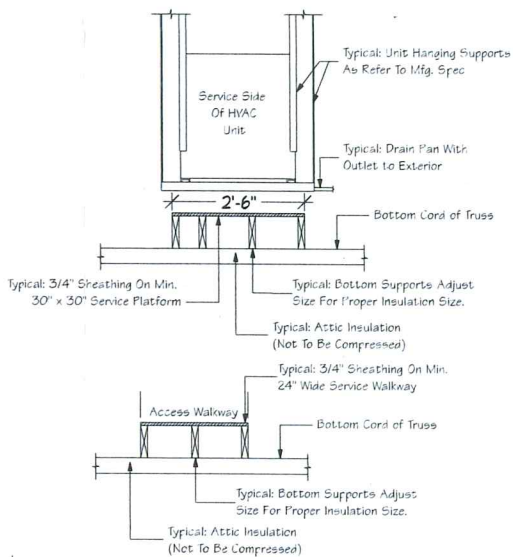
TYPICAL GARAGE WALL TO FOUNDATION DETAIL #18



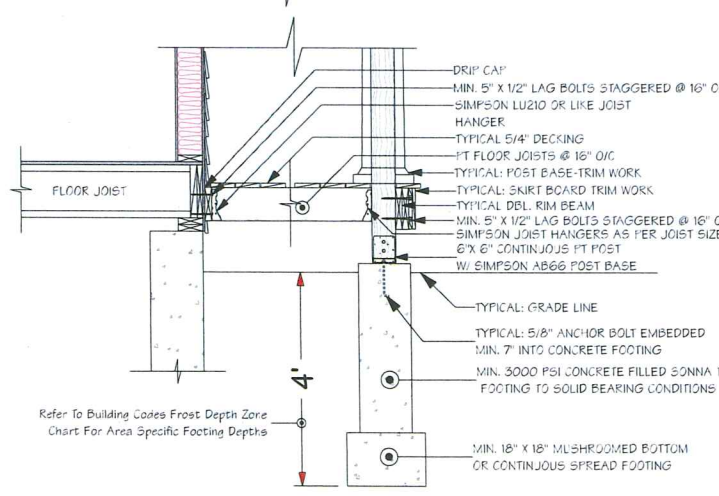
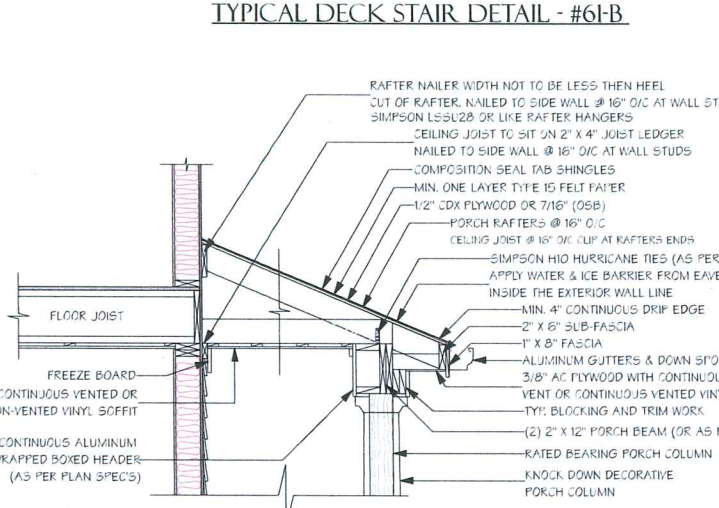
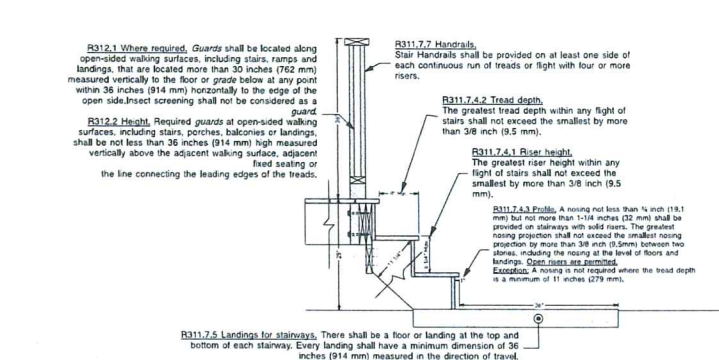
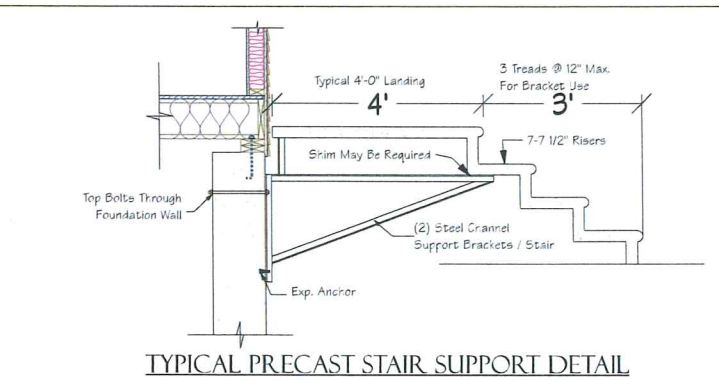
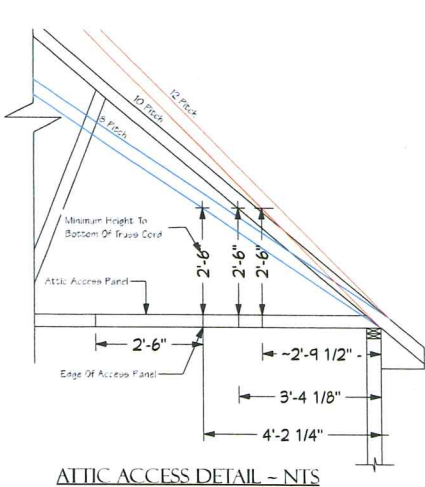
TYPICAL ATTIC ACCESS DETAIL - NTS



TYPICAL PRECAST STAIR SUPPORT DETAIL



TYPICAL PORCH DETAIL #35



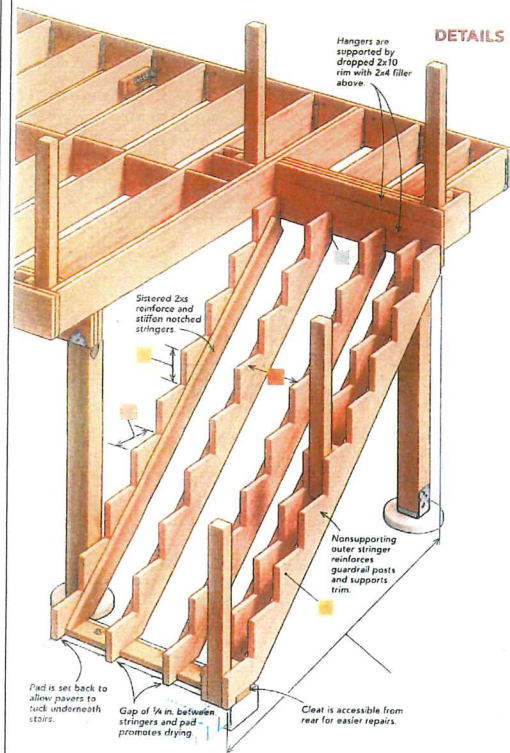
PROJECT TITLE: 2021-0004-1347 Lantern Hill (39) Lantern Hill Dr. Cranston, RI

PROJECT NO. INFORMATION: 2021-0004-1347 Lantern Hill (39) Lantern Hill Dr. Cranston, RI - Users/admin Dropbox (Clearview Design)/PROJECTS/AT 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39) Haven Colonial (LSE)

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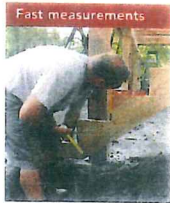




#### DETAILS FOR STURDY STAIRS



**Better support**  
Hangers may need extra support. Whether you're using sloped joist hangers or stringer hangers (shown), dropped staircases usually require additional lumber to provide full fastening for the hardware. Here, the 2x10 rim was turned down by the width of a 2x4 spacer so that all eight fasteners had backing.



**Fast measurements**  
Stringer sets the pad. With the pattern stringer cut, held in position, and leveled, it's easy to measure down to determine the desired height of the concrete formwork that will be installed below.

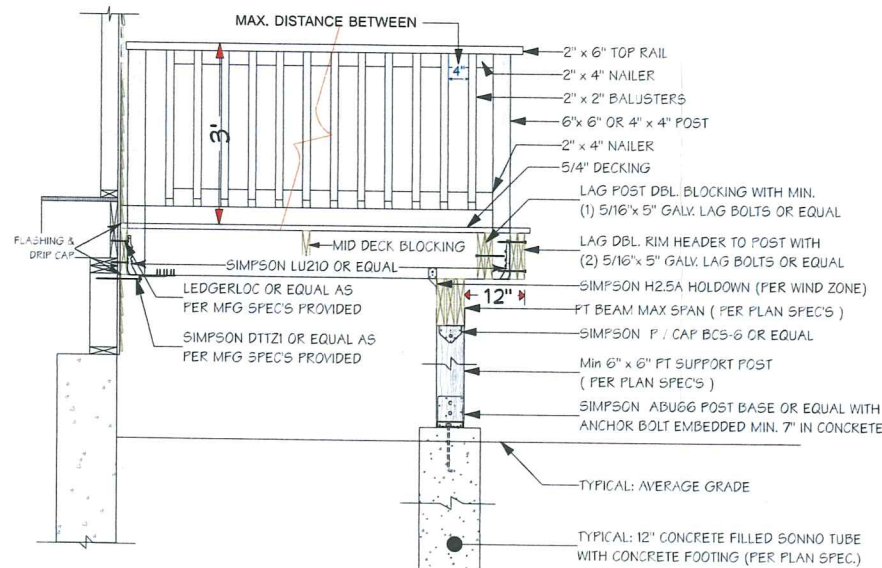
**Know the code** Here are some of the most notable details to brush up on before framing your next set of deck stairs.

- Stringers must be cut from a maximum of 2x12 stock.
- Maximum span is 6 ft. for notched stringers (13 ft. for solid stringers).
- Sloped joist hangers or stringer hangers are required at the upper end of the stringers.
- Maximum notch depth is 1/4 of the stringer's thickness.
- Maximum riser height is 7 1/2 in.
- Minimum tread width is 10 in.

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**NOTE:** FOR ALL EXPOSED FRAMING AND STRUCTURAL MATERIAL IT SHALL BE PRESSURE TREATED. ALL NAILS, BOLTS & HARDWARE TO BE A MINIMUM OF ASTM A 653 TYPE G185 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED.  
(NOTE) IF DECK HEIGHT EXCEEDS 30" OR MORE ABOVE GRADE GUARDRAILS ARE REQUIRED AND ALL HANDRAILS, GUARDRAILS, AND STAIRS AS PER STATE BUILDING CODES.  
(ALL HANGERS AND HOLD DOWNS AS PER WIND ZONE OR PLAN SPEC'S)



#### TYPICAL DECK WITH BEAM DETAIL - #61

#### NOTES FROM THE FIELD

#### KNOWLEDGE FOR THE BUILDER

Although no substitute for specific code requirements or the manufacturer's installation instructions, here are some helpful insights, often overlooked caveats, and general advice for properly installing hardware and metal connectors on a typical deck.

##### Rim and guardrails

Technically, you can attach guardrail posts however you like, as long as you can prove that the attachment will allow them to withstand 200 lb. of concentrated live load applied anywhere along the top. Tension ties and blocking are the most common solutions, however.

Working together with midspan blocking, a deck's rim keeps the joists from rolling over. To do its job, the rim must be fastened to the joists with 3-in.-long #10 wood screws, or 10d 3-in. threaded nails. If a double rim is used, these fasteners should be installed before the second layer is applied.

Guardrail posts attached to a rim are only as strong as the rim's attachment to the joist ends. Posts in these locations should be tied to joists with blocking or tension ties, too.

If guardrail posts are being reinforced with tension ties approved for that application (such as Simpson's DTT2, right), the joists must be 2x8 or larger. Smaller joists don't provide enough depth for the fasteners to resist the leverage applied to the railings.

##### Beam, posts, and footings

Clearance from the post base to the edge of the footing varies by the type of connector and anchor. Generally, the shallower the anchor embedment, the closer to the edge of the footing you can get. Keep in mind that minimum edge distances are a separate issue from sizing a footing to carry deck loads, and honest calculations for these two criteria usually result in a need for larger footings than are commonly used.

Post caps, regardless of type or thickness, are not designed to provide sway resistance. If you need to resist racking forces in a tall deck, the posts must be stiffened with angled wood bracing between post and beam or by sinking the posts into the footings.

Even when installing beams so that they bear directly on posts, you can't rely on toenails for this connection.

##### Ledger, joists, and stringers

Overdriving ledger screws reduces their holding strength. They should be driven only until the back of the washer head contacts the face of the wood.

Joists must be cut to sit within 1/8 in. of the ledger, and to satisfy code, must maintain at least 1 1/2 in. of full bearing contact with the seat of the hanger.

Hangers must match the joist they support. Hangers that are undersize place all of the forces into the bottom of the ledger, which can split off.

Much of a joist hanger's capacity relies on the 45° fasteners, which must be 3 in. long to pass through the joists and into the ledger.

Deck frames must be tied back through the ledger and into the house framing, usually using tension ties. Depending on the type, you need at least two, but sometimes four, of these connectors.

Only inverted flange hangers are tested for use at ledger ends. Never bend or cut a standard hanger for this spot.

Stringer hangers have minimum bearing requirements. If the first step is below the deck surface, then a wider header or dropped header will be needed.

Midspan support is required for notched stringers that span more than 6 ft. (measured horizontally). Distances longer than that require midspan support posts that land on a minimum 6-in.-thick footing.

Toenails are a fast way to attach the joists to the beam but aren't a long-term solution for preventing movement. Toenails are a more durable way to reinforce the connection between the joists and beam.

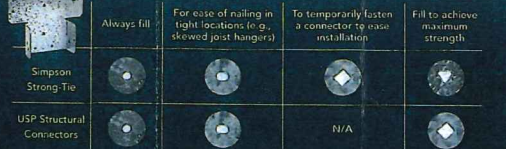
You don't need joist hangers at the rim opposite the ledger unless it's also acting as a flush carrying beam.

#### FOUR GENERAL REQUIREMENTS

Before diving into the details of each metal connector, learn these golden rules for deck hardware.

- The right connector.** Connectors are designed and tested for specific applications. There are no tested values to support their use—either in their original form or an altered form—for reinforcing other connections.
- The right finish.** The mistake inspectors see most frequently is the use of metal connectors with one type of weather resistance (galvanization or stainless steel) and fasteners with another type.
- The right fasteners.** In many cases, using hardware screws rather than nails is allowed. These screws are specifically designed with a ductile (softer) core, which allows them to bend under load rather than snap. You can't use deck screws or other general-construction screws.

**4. The right fastening pattern.** Achieving the designed strength of a metal connector means using the proper number of fasteners. The punched holes in each connector—the only places where fasteners should be driven—are shaped by the manufacturer to match fastening guidelines (see key, right).



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#### Technical Evaluation Report (TER)

Loading Condition (Live Load, psf)	2x Nominal Ledger Species	Rim Joist Material	Maximum Deck Joist Spans					
			Up to 6'	Up to 8'	Up to 10'	Up to 12'	Up to 14'	Up to 16'
40	HF/SPF	2x Nominal Sawn Lumber	20	15	12	10	8	7
		1" min EWP	25	19	15	12	10	9
	DF/SP	Nominal Sawn Lumber	24	18	14	12	10	9
		1" min EWP	25	19	15	12	10	9
60	HF/SPF	2x Nominal Sawn Lumber	14	11	8	7	6	5
		1" min EWP	18	13	10	9	7	6
	DF/SP	Nominal Sawn Lumber	17	13	10	8	7	6
		1" min EWP	18	13	10	9	7	6

- Based on load duration of 1.0. Spacing may be adjusted by the applicable load duration as specified in NDS 2005.
- Fasteners are required to have full thread penetration into the main member. Excess fastener length extending beyond the main member is not reflected in the table above.
- Solid sawn band joists shall be HF, SPF, DF-L or SP species.
- Fastener spacing is based on tested loads. The design values use the lesser of a 1/4" deflection or a factor of safety equivalent to or greater than that of the code compliant lag screw application as defined in Figure 2.
- A maximum 1/2" structural sheathing may be installed between the ledger and the band joist.
- Table values assume 10 psf dead load.

Table 2: LedgerLok Fastener Spacing for Items in IRC Table 502.2.2.1 & Other Materials & Loading Conditions

- When installed in accordance with the spacing requirements of Table 2, LedgerLok Ledger Board Fasteners provide equivalent performance to 2009 IRC Table R502.2.2.1.
- Installation:**
  - Choose a 3-3/8" or 5" LedgerLok Ledger Board Fastener so that the threads fully engage the rim material and the fastener tip extends beyond the back face of the rim material when fully seated against the installed ledger.
  - Using a high-torque, 1/2" variable-speed drill (18V if cordless), drive the fasteners through the ledger and sheathing. Continue into the rim joist until the built-in washer head is drawn firm and flush to the ledger board. Do not overdrive.
  - Figure 2 shows a detail of the LedgerLok Ledger Board Fastener deck connection, including minimum edge and end distances.

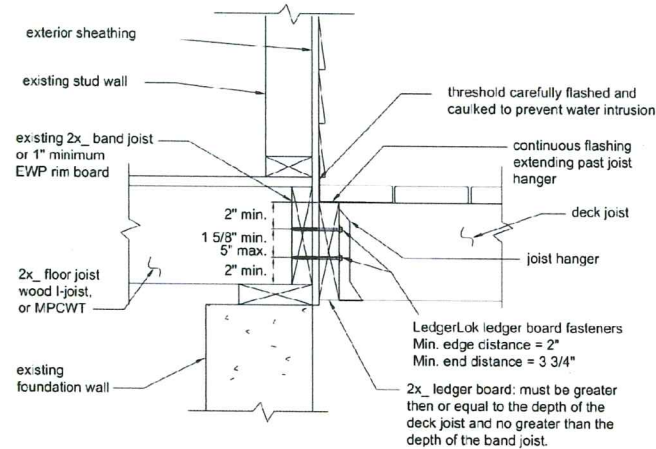
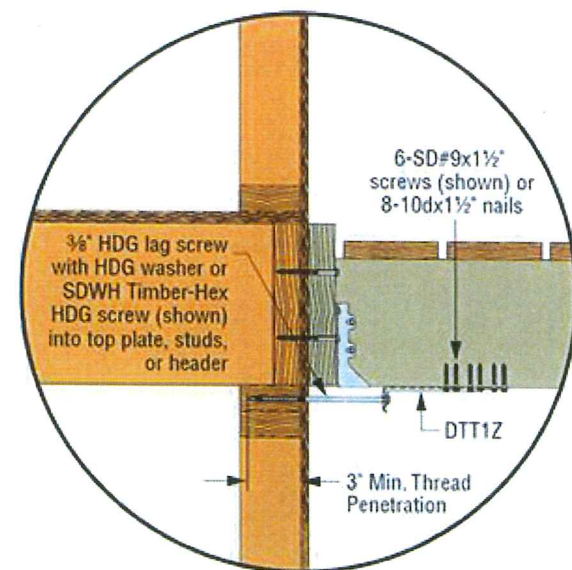


Figure 2: LedgerLok Ledger Board Fastener Deck Connection

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FastenMaster LedgerLok™ Ledger Board Fasteners

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2021-0004-1347 Lantern Hill (39) Lantern Hill Dr Cranston, RI

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