

**City of Cranston
Zoning Board of Review
Application**

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review
35 Sockanosset Crossroad Suite 6
Cranston, RI 02920

Date: May 3, 2021

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Lippitt Land Investments, LLC

ADDRESS: 75 Lambert Lind Highway, Warwick, RI ZIP CODE: 02886

APPLICANT: Lippitt Land Investments, LLC

ADDRESS: 75 Lambert Lind Highway, Warwick, RI ZIP CODE: 02886

LESSEE: _____

ADDRESS: _____ ZIP CODE: _____

1. ADDRESS OF PROPERTY: 39 Lantern Hill Drive

2. ASSESSOR'S PLAT #: 30-4 BLOCK #: _____ ASSESSOR'S LOT #: 273 WARD: 4

3. LOT FRONTAGE: 312' +/- LOT DEPTH: 316' +/- LOT AREA: 80,000 sq ft

4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED: A-80 80,000 sq ft 35'
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)

5. BUILDING HEIGHT, PRESENT: N/A PROPOSED: 30' +/-

6. LOT COVERAGE, PRESENT: N/A PROPOSED: 3% +/-

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? 7/7/2009

8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? no

9. GIVE SIZE OF EXISTING BUILDING(S): N/A

10. GIVE SIZE OF PROPOSED BUILDING(S): 64' x 46' +/-

11. WHAT IS THE PRESENT USE? vacant residential lot

12. WHAT IS THE PROPOSED USE? single family home with accessory family unit

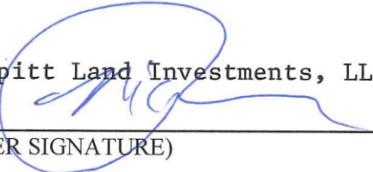
13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: one plus accessory family unit

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: Include an accessory family apartment in proposed single family home. Accessory unit will be 851 square feet.
15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? yes
16. WERE YOU REFUSED A PERMIT? yes
17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.
17.24.010 (F) (Specific performance standards); 17.92.010 (Variance) and all other applicable sections of the zoning code
18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: Proposed accessory family apartment is permitted use under the zoning code and is allowed under RIGL Section 45-24-37 (e). The proposed accessory unit is 851 square feet and a dimensional variance of 251 square feet is required to meet the design of the ADA accessible family apartment.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,

Lippitt Land Investments, LLC

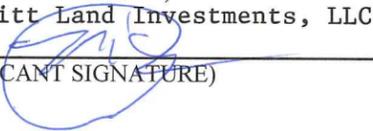
By: 
(OWNER SIGNATURE)

732-3700
(PHONE NUMBER)

(OWNER SIGNATURE)

(PHONE NUMBER)

Lippitt Land Investments, LLC

By: 
(APPLICANT SIGNATURE)

732-3700
(PHONE NUMBER)

(LESSEE SIGNATURE)

946-3800
(PHONE NUMBER)

(ATTORNEY SIGNATURE)

(PHONE NUMBER)

Robert D. Murray, Esq.

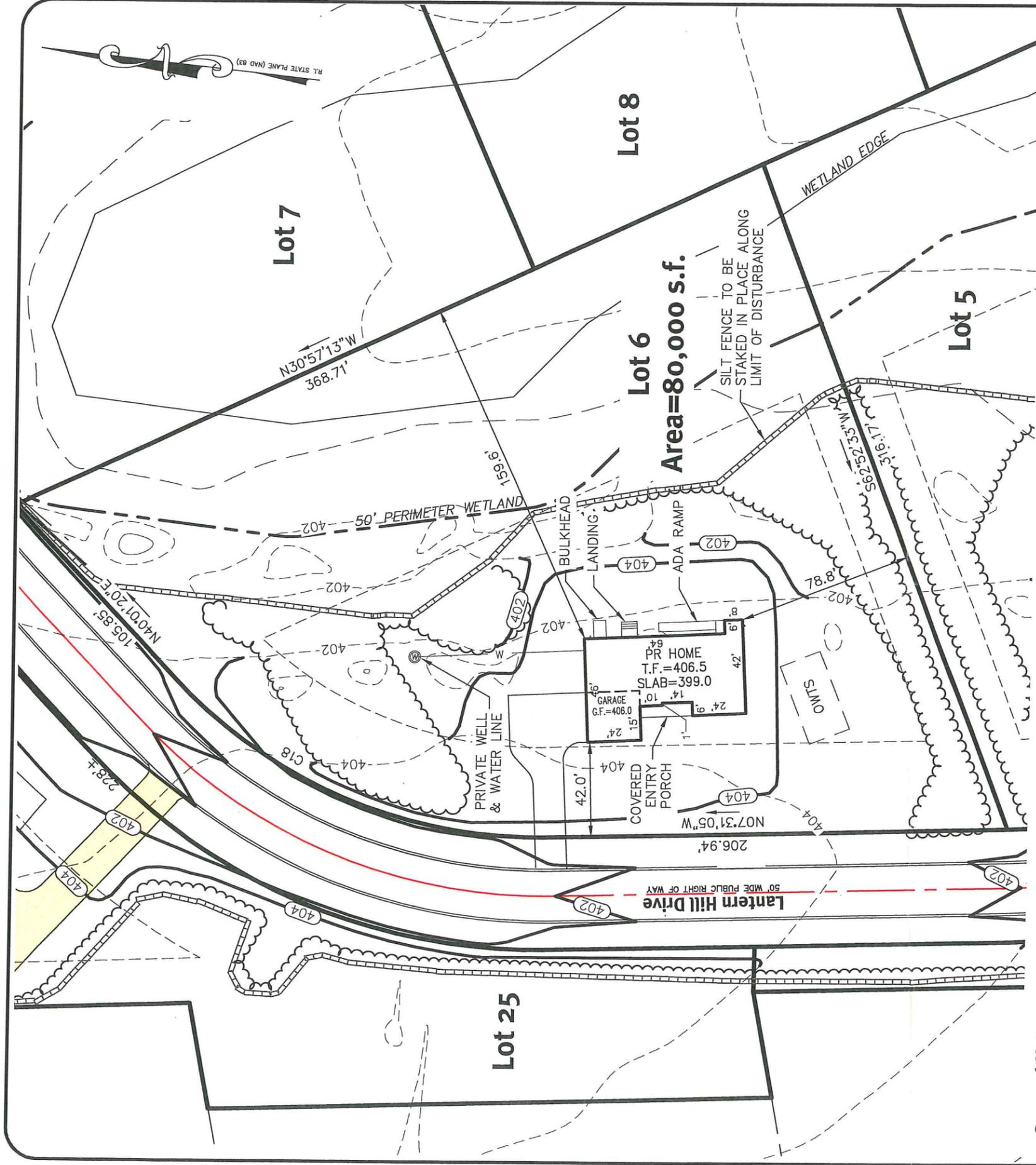
(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: 21 Garden City Drive, Cranston, RI 02920

PRE-ZONING APPLICATION MEETING:

(PLANNING DEPT. SIGNATURE)

(DATE)



General Notes:

1. THERE IS NO ALTERATION OF A FRESHWATER WETLAND PROPOSED OR REQUIRED. LIMIT OF WORK APPROVED UNDER RIDEM APPLICATION NO. 13-0203, DATED 6/27/2014.
2. THE SOLE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DWELLING LOCATION AND PROPOSED SEWER, WATER AND DRAINAGE LOCATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUND WATER ARE DIRECTED AWAY FROM THE STRUCTURE.
4. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DE THAT UTILITY SERVICE IS AVAILABLE.
5. ALL EXISTING UTILITIES SHOWN ARE FROM VISIBLE INFORMATION, DRAWINGS BY OTHERS, OR INFORMATION PROVIDED TO DE AND ARE SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION AND DIG SAFE SHOULD BE NOTIFIED PRIOR TO ANY WORK.

Curve Table

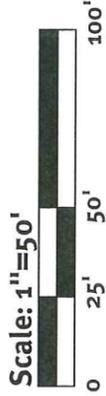
CURVE	DELTA	RADIUS	LENGTH
C18	47°32'26"	225.00'	186.69'

Dimensional Regulations:

ZONING: A-80 (RESIDENTIAL PLANNED DISTRICT)
 MINIMUM LOT AREA 80,000 Square Feet
 MINIMUM FRONTAGE 200 Feet
 MINIMUM FRONT YARD SETBACK 40 Feet
 MINIMUM SIDE YARD SETBACK 20 Feet
 MINIMUM REAR YARD SETBACK 100 Feet

Plan Reference:

RECORD PLAN PHASE I LANTERN HILL ESTATES A.P. 30 LOT 250, CRANSTON, RI. PREPARED BY DIPRETE ENGINEERING ASSOCIATES, INC., PREPARED FOR LIPPITT LAND INVESTMENT, LLC.



No.	Date	Description	By:
2	4/21/21	Plot Plan	GMS/MEG
1	11/01/19	Plot Plan	KWR
0	09/27/19	Plot Plan	CAD
0			BY:

Drawn By: MID/JAC

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY LIMITED CONTENT BOUNDARY SURVEY (BUILDING LOCATION SURVEY) MEASUREMENT SPECIFICATION CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: DEPICT THE RELATIONSHIP BETWEEN THE LOT LINES AND PROPOSED BUILDING FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT.

Plot Plan - Subdivision Lot 6

Lantern Hill Estates
 Cranston, Rhode Island

Applicant
Lippitt Land Investment, LLC
 75 Lambert Lind Highway, Warwick, Rhode Island 02886
 tel. 401-732-3700

DiPrete Engineering

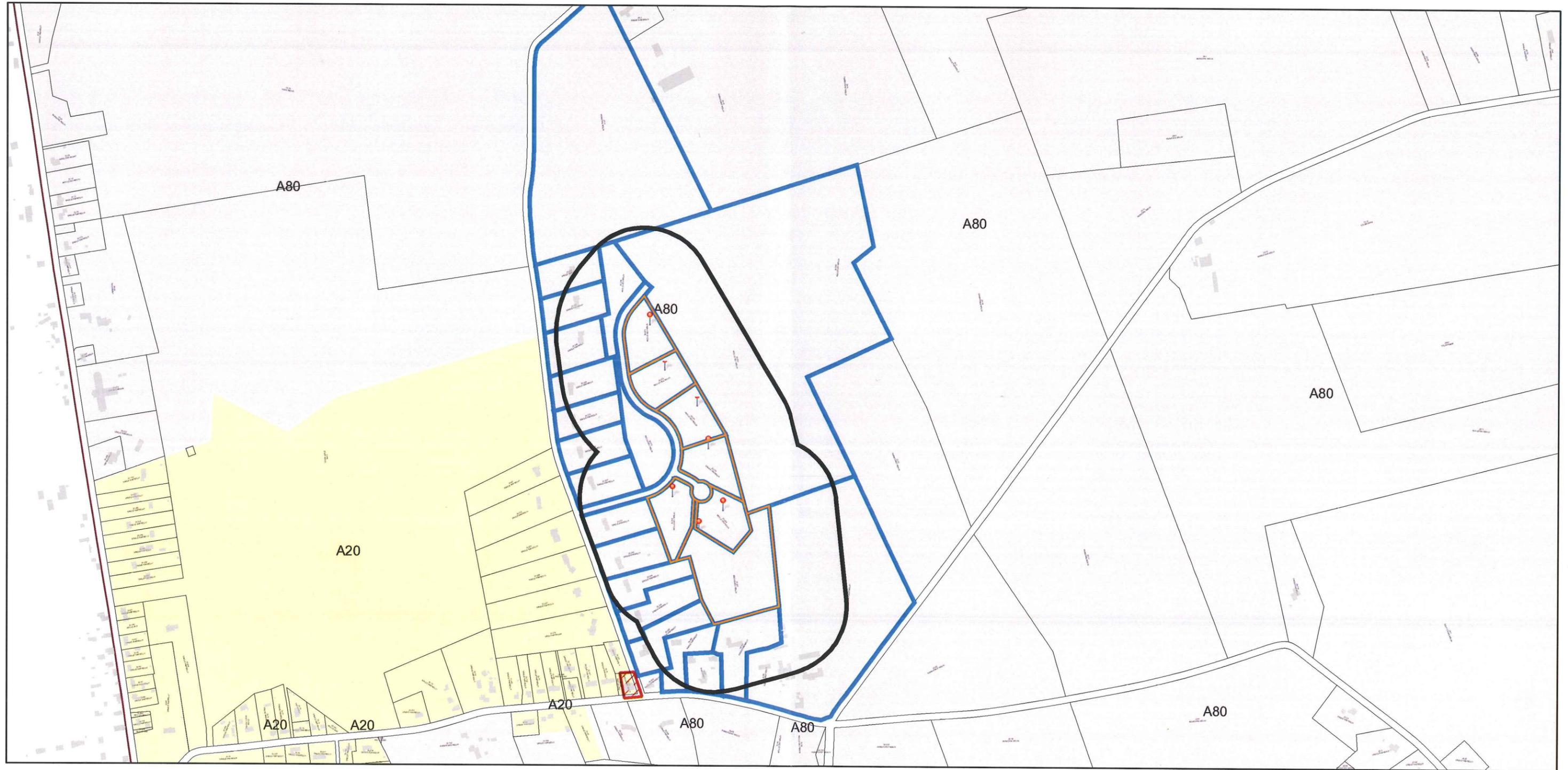
Two Stafford Court Cranston, RI 02920
 tel. 401-943-1000 fax 401-464-6006
 www.DiPrete-Eng.com

Engineers • Planners • Surveyors



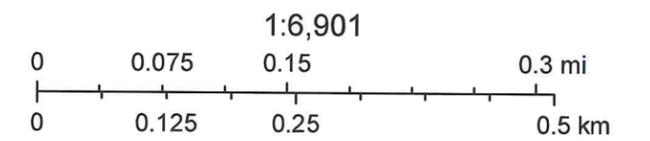
BY
MICHAEL E. GAVITT, RIPLS #1981
 C.O.A. NO. LS-A160

0 Lantern Hill Dr 400' Radius Plat 30 Lot 273



5/4/2021, 9:43:00 AM

- | | | | | | | | | | |
|--|-------------------|---------------|---------------------------|--|-----|--|----|--|-------|
| | Parcel Outlines | | Buildings | | A20 | | C1 | | M2 |
| | Plat Boundaries | | Zoning Dimensions | | A12 | | C2 | | EI |
| | Parcel ID Labels | | Historic Overlay District | | A8 | | C3 | | MPD |
| | Streets Names | Zoning | | | A6 | | C4 | | S1 |
| | Cranston Boundary | none | | | B1 | | C5 | | Other |
| | Parcels | A80 | | | B2 | | M1 | | |



City of Cranston

DISCLAIMER:

Clearvue Design Inc. And Or Its Employees Assume No Responsibility For Any Dimension Discrepancies, Or Changes Made To Any Portion Of The Structure. Any Discrepancy In Structure Uniformity, Such As Material Consistency, The Structure Being Plumb, Level, And Square Could Cause The Structure To Become Physically Unsafe. The Homeowner And Or Contractor/Builder Shall Verify All Plan Dimensions, Structural Details, And Building Codes Requirements. Then Notify The Architect/Designer Of Any Dimensional Errors, Omissions Or Discrepancies Before Beginning Or Fabricating Any Work On The Project.

To The Best Of Our Knowledge These Plans Are Drawn To Comply With Owner's And/ Or Builder's Specifications And Any Changes Made On Them After Prints Are Made Will Be Done At The Owner's And / Or Builder's Expense And Responsibility. The Contractor Shall Verify All Dimensions And Enclosed Drawing.

Clearvue Design Inc. Is Not Liable For Errors Once Construction Has Begun. While Every Effort Has Been Made In The Preparation Of This Plan To Avoid Mistakes, The Maker Can Not Guarantee Against Human Error. The Contractor Of The Job Must Check All Dimensions And Other Details Prior To Construction And Be Solely Responsible Thereafter.

Unforeseen Site Conditions:

Unforeseen Site Conditions May Cause A Deviation From The Construction Documents And All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. It Is The Sole Responsibility Of The Builder/Contractor To Insure Structural Stability And Conformance To All Applicable Codes.

Final Grade & Site Conditions:

The Final Finish Grade Around The Structure May Vary From The Construction Documents Submitted, Due To Actual Unforeseen Site Conditions. The Number Of Stairs To Meet The Finish Grade And Or Finish Floors Of Garage And Or House Shall Be As Required To Meet All Applicable Building & Civil Codes.

General Plan Notes:

Where Discrepancies Exist Between The Standard Comments And Notes From The Design Professional Or The Code, The Most Restrictive Shall Apply. All Construction Shall Comply With State Building Codes.

All Dimensions, Notes, And Other Information Conveyed In These Drawings Are For Construction Purposes And Are Subject To Change. All Dimensions Must Be Field Verified By Builder/Contractor And Sub-Contractors. All Work Performed Is To Be In Accordance With All Local And State Building Codes.

CODE REVIEW SCHEDULE

BUILDING CODE-1	2019 RHODE ISLAND BUILDING CODE
BUILDING CODE-2	2019 RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE
ENERGY CODE	2019 RHODE ISLAND ENERGY CONSERVATION CODE
PLUMBING CODE	2019 RHODE ISLAND PLUMBING CODE
MECHANICAL CODE	2019 RHODE ISLAND MECHANICAL CODE
FUEL GAS CODE	2019 RHODE ISLAND FUEL & GAS CODE
ELECTRICAL CODE	INTERNATIONAL ELECTRICAL CODE, 2017 EDITION, RISBC-5 RHODE ISLAND ELECTRICAL CODE
HIGH WIND CODE	WFCA 110-B-GUIDE TO WOOD CONSTRUCTION IN HIGH WIND AREAS FOR ONE- AND TWO-FAMILY DWELLINGS, 110 MPH EXPOSURE B
R.I. FIRE SAFETY CODE	UNIFORM FIRE CODE OF THE NATIONAL FIRE PROTECTION ASSOCIATION INC. STANDARD 1 (NFPA 1 & 101), 2012 EDITION, WITH APPENDICES

CONSTRUCTION DESIGN CRITERIA

OCCUPANCY TYPE	R3
CONSTRUCTION TYPE	5B
LIVE & DEAD LOADS ALL FLOORS	40-PSF/LL 15-PSF/DL
TOTAL FLOOR LOADING	55-PSF
SNOW LIVE & DEAD LOADS ALL ROOFS	30-PSF/LL 15-PSF/DL
TOTAL ROOF LOADING	45-PSF
BALCONIES LIVE LOAD	60-PSF
DECKS LIVE LOAD	40-PSF/LL
UNINHABITABLE ATTICS LIVE LOAD	20-PSF
SOIL BEARING PRESSURE (ASSUMED)	2000-PSF
DESIGNED WIND EXPOSURE & WIND SPEED	B / ZONE-1 100-MPH
CLIMATE ZONE DESIGN LOCATION	5A
FROST DEPTH DESIGN	(3'-4")
BUILDING HEIGHT MAX. (FROM AVERAGE FRONT GRADE)	(35'-0")

PLAN COPIES AND REPRODUCTION:

These Drawings Are **Copyrighted ©** And The Proprietary Work Product And Property Of (CLEARVUE DESIGN INC. ®), Developed For The Exclusive Use Of (CLEARVUE DESIGN INC. & SAID CLIENT). Use Of These Drawings And Concepts Contained Therein Without The Written Permission Of (CLEARVUE DESIGN INC.) Is strictly Prohibited And May Subject You To Claim For Damages, As Per. RI State Law & Federal Copyright Laws.



2021-0004-1347 LANTERN HILL (39 LANTERN HILL DR CRANSTON, RI)

DISCLAIMER:

This plan is for building permit and design/layout purposes. Final framing plans, framing materials and construction details may vary and will be in accordance with State Building Codes and per the contract documents. The grades shown on the house plans do not reflect the actual grades on the lot. The amount of exposed foundation and the actual number of exterior steps and garage steps will be determined on-site and at the builder's discretion.

LAYOUT PAGE TABLE

LABEL	TITLE	DESCRIPTION
C-1	COVER SHEET	DESIGN CRITERIA AND NOTES
A-2	FOUNDATION	FOUNDATION & BASEMENT LAYOUT PLAN
A-3	FLOOR PLAN	1ST FLOOR LAYOUT PLAN
A-4	FLOOR PLAN	2ND FLOOR LAYOUT PLAN
A-5	ELEVATION	EXTERIOR ELEVATION FRONT & REAR VIEWS
A-6	ELEVATION	EXTERIOR ELEVATION LEFT & RIGHT SIDE VIEWS
A-7	CROSS SECTION	CROSS SECTION DETAIL VIEWS S1, S2, S3 & S4
A-8	CROSS SECTION	CROSS SECTION DETAIL VIEW S5 & S6
A-9	FRAMING PLAN	1ST FLOOR FRAMING LAYOUT PLAN
A-10	FRAMING PLAN	1ST FLOOR HEADER LAYOUT PLAN
A-11	FRAMING PLAN	2ND FLOOR FRAMING LAYOUT PLAN
A-12	FRAMING PLAN	2ND FLOOR HEADER LAYOUT PLAN
A-13	FRAMING PLAN	ROOF FRAMING & OVERVIEW LAYOUT PLAN
A-14	BUILDING DETAILS	STANDARD DETAILS UNLESS OTHERWISE NOTED
A-15	BUILDING DETAILS	STANDARD DECK DETAILS

REVISION TABLE

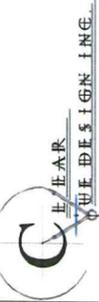
LABEL	DATE	REVISED BY	DESCRIPTION
REV-1	2/4/21	PHILIP C. CALABRO	PRELIMS AS PER JEN'S EMAIL
REV-3	2/10/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL
REV-3	2/15/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL
REV-4	2/25/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL
REV-5	3/3/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL
REV-6	3/8/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL AND PHONE CALL
REV-7	3/12/21	PHILIP C. CALABRO	REVISED AS PER JEN'S EMAIL AND PHONE CALL
REV-8	3/17/21	PHILIP C. CALABRO	REVISED AS PER JEN'S EMAIL
REV-9	3/20/21	PHILIP C. CALABRO	DRAFTING FOR REVISIONS AS PER JEN'S EMAIL
REV-10	4/21/21	PHILIP C. CALABRO	COMPLETED FINAL CONSTRUCTION DOC'S
REV-11	5/4/21	PHILIP C. CALABRO	REVISED AS PER NICK'S EMAIL

PROJECT TITLE:
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI)
Dr. Cranston, RI

PROJECT NUM INFORMATION:
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - /Users/admin/ Dropbox (Clearvue Design)/Project Docs/ 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

CLIENT INFORMATION:
Pierme Homes - Nicholas Keuler
39 Lantern Hill Dr
Cranston, RI 02906
Tel: (401) 752-3700
Fax: (401) 752-3700
Email: info@clearvueinc.com
Web: www.clearvueinc.com

Clearvue Design Inc.
Philip C. Calabro
(Tel) 401-966-8853
Web: www.clearvuedesign.com
Email: phil@clearvuedesign.com



DRAWN BY:
Philip C. Calabro

DATE:
5/4/21

SCALE:
AS NOTED

SHEET OF:
1 | 15

SHEET:

C-1

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Anchored Window Schedule												
Elev	RM Name	Label	Qty	Flr	Top	R/O	Egress	Temp	Description	HDR	HDR Type	Area, Actual (sq ft)
	Unfinished Basement Area	Standard	4	0	90°	32"x16"			Single Hopper	2x10x32" (2)	Lumber	3.56
Totals:												

Door Schedule												
RM Name	Label	MFG	Qty	Flr	R/O	Type	Fire	HDR	HDR Type	EX	Hinges/S	Stamp/S
Unfinished Basement Area	34710	N/A	1	0	40°x34"	Doorway				EX		None

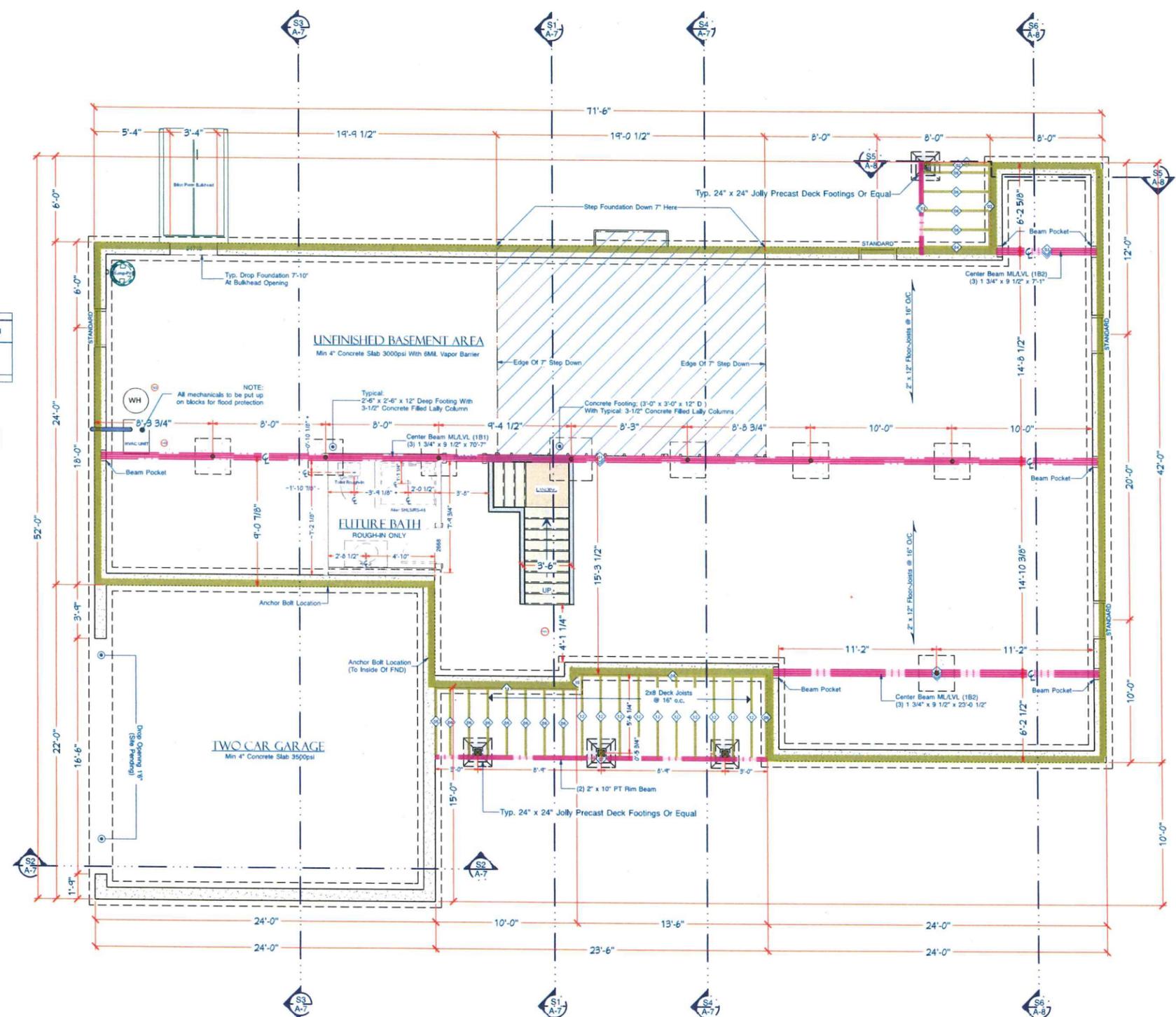
Living Area Schedule			
Room Name	Floor	Area Standard (sq ft)	Dimensions
Future Bath	0	63	7'-8" x 7'-8"
Two Car Garage	0	535	22'-4" x 23'-0"
Unfinished Basement Area	0	2133	69'-10" x 34'-4"
Totals			

Wall Schedule						
2D Symbol	Wall Type	Floor	Cavity R-Value	Total Width	Qty	
	2x-10" Concrete - Cast in Place	0	0	10"	13	
	5x-2x4 w/ 1/2" SR	0	0	4 1/2"	4	
	6x-2x6 w/ 1/2" SR	0	0	6 1/2"	1	
	6x-2x6 w/ 1/2" SR Future	0	0	6 1/2"	1	
	5x-2x4 w/ 1/2" SR Future	0	0	4 1/2"	4	

Closet Schedule		
Number	Floor	Label

Electrical Schedule		
2D Qty	Floor	Attached To
1	0	Ceiling
1	0	Ceiling
1	0	Ceiling

Deck Framing Schedule				
Num	Name	Qty	Nominal Length	Material
01	Deck Rim Joist	2	2x10	PT Structural Beam
02	Deck Rim Joist	1	2x8	PT Framing
03	Deck Rim Joist	1	2x8	PT Framing
04	Deck Rim Joist	1	2x8	PT Framing
05	Deck Rim Joist	2	2x8	PT Framing
06	Deck Joist	11	2x8	PT Framing
07	Deck Beam	2	2x10	PT Structural Beam
08	Deck Rim Joist	1	2x8	PT Framing
09	Deck Rim Joist	1	2x8	PT Framing
10	Deck Rim Joist	1	2x8	PT Framing
11	Deck Rim Joist	1	2x8	PT Framing
12	Deck Joist	10	2x8	PT Framing



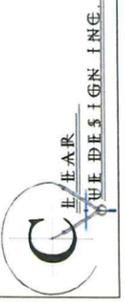
LIVING AREA = 0 SQ FT
 BASEMENT FLOOR LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:
 2021-0004-1347_Lantern_Hill (39_Lantern_Hill
 Dr Cranston, RI.)

PROJECT INFO:
 2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - /Users/admin/ Dropbox (ClearVue Design)/PROJECTS/AT 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE))

CLIENT INFORMATION:
 Pictoria Homes - Nicholas Reiter
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 Email: nreiter@pictoria.com
 Web: www.pictoriahomes.com

ClearVue Design, Inc.
 Philip C. Calabro
 (Tel): 401-946-8853
 Web: www.clearvuedesign.com
 Email: phil@clearvuedesign.com



DRAWN BY:
 Philip C. Calabro
DATE:
 5/4/21
SCALE:
 AS NOTED
SHEET OF:
 2 | 15
SHEET:

A-2

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Elev	RM Name	Label	MFG.	Qty	Flr	Top	Dimensions	R/O	Egress	Temp	Description	HDR	HDR Type	Area Actual (sq ft)
	Dining Area	2849DH	Pella-250	2	1	84"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x12x35" (2)	Lumber	12.36
	Family Room	2849DH	Pella-250	2	1	91"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x10x35" (2)	Lumber	12.36
	Kitchenette/ Living Area	2849DH	Pella-250	1	1	84"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x10x35" (2)	Lumber	12.36
	Office/Study/Covered Porch Area	2856DH	Pella-250	2	1	84"	31 1/2"x65 1/2"DH	32"x66"	Yes		Double Hung	2x10x35" (2)	Lumber	14.33
	Kitchenette/ Living Area	SC4036DBL	Pella-250	1	1	84"	47 1/2"x41 1/2"	48"x42"			Mulled Unit	2x10x51" (2)	Lumber	13.69
	Kitchen	CS4036	Pella-250	1	1	90"	47 1/2"x41 1/2"	48"x42"			Mulled Unit	2x10x51" (2)	Lumber	13.69
	Two Car Garage	2856DH	Pella-250	2	1	111"	31 1/2"x65 1/2"DH	32"x66"	Yes		Double Hung	2x10x35" (2)	Lumber	14.33
	Kids Corner	DH2849-2	Pella-250	1	1	84"	63 1/2"x56 1/2"	64"x57"	Yes		Mulled Unit	2x10x67" (2)	Lumber	24.91
	ADA Bath	2840DH	Pella-250	1	1	84"	31 1/2"x47 1/2"DH	32"x48"	Yes		Double Hung	2x10x35" (2)	Lumber	10.39
	ADA Bedroom	10 DH2856-2	Pella-250	1	1	84"	63 1/2"x65 1/2"	64"x66"	Yes		Mulled Unit	2x10x67" (2)	Lumber	28.88
	Lav.	2436DH	Pella-250	1	1	84"	27 1/2"x41 1/2"DH	28"x42"			Double Hung	2x10x31" (2)	Lumber	7.93
	Mud Room	2849DH	Pella-250	1	1	84"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x10x35" (2)	Lumber	12.36
	Kitchenette/ Living Area	DH2849-2	Pella-250	1	1	84"	63 1/2"x56 1/2"	64"x57"			Mulled Unit	2x10x67" (2)	Lumber	24.91
	Kitchenette/ Living Area/ Landing	2849DH	Pella-250	1	1	84"	31 1/2"x56 1/2"DH	32"x57"			Double Hung	2x10x35" (2)	Lumber	12.36
	Totals													268.24

RM Name	Label	MFG.	Qty	Flr	Type	Fire	HDR	HDR Type	EX/IN	Hinge/S	Swing/S
Open Foyer/Covered Porch Area	ThermaTru 3066/12/13/13T	ThermaTru	1	1	64 1/2"x96"	Mulled Unit		2x12x67 (2)	Lumber		In
Dining Area	SI 606 10	Pella-250	1	1	172x82"	Sliding		2x12x78 (2)	Lumber	EX	In
Mud Room/Two Car Garage	2868R	ThermaTru	1	1	34 1/2"x80 1/2"	Hinged	Yes	2x10x37 1/2" (2)	Lumber	EX	In
Close/Mud Room	2668H	Generic	1	1	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	Out
Open Foyer/Close	4068H	Generic	1	1	60 1/2"x82 1/2"	Double Hinged		2x4x53 1/2" (2)	Lumber	IN	In
Kids Corner/Kitchen	2668 PK	Generic	1	1	62 1/2"x81 1/2"	Pocket		2x12x65 1/2" (2)	Lumber	IN	Out
Mud Room/Lav.	2668H	Generic	1	1	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	Out
Kitchenette/Living Area/Mud Room	2868H	Generic	1	1	34 1/2"x82 1/2"	Hinged		2x4x37 1/2" (2)	Lumber	IN	Out
Stairwell/Hall	2668H	Generic	1	1	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	Out
Two Car Garage	1669D	Amarr Garage Doors	1	1	192"x109"	Garage		2x4x35 1/2" (2)	Lumber	EX	In
Kitchenette/Living Area/Lav.	2668H	Generic	1	1	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	Out
ADA Bedroom/ADA Bath	2868H	Generic	1	1	34 1/2"x82 1/2"	Hinged		2x4x37 1/2" (2)	Lumber	IN	Out
Close/ADA Bedroom	4068H	Generic	1	1	50 1/2"x82 1/2"	Double Hinged		2x4x53 1/2" (2)	Lumber	IN	Out
ADA Bedroom/Kitchenette/ Living Area	2868H	Generic	1	1	34 1/2"x82 1/2"	Hinged		2x4x37 1/2" (2)	Lumber	IN	In
Office/Study/Kitchenette/ Living Area	2868H	Generic	1	1	34 1/2"x82 1/2"	Hinged		2x4x37 1/2" (2)	Lumber	IN	Out
Office/Study/Open Foyer	4068H	Generic	1	1	34 1/2"x82 1/2"	Hinged		2x4x37 1/2" (2)	Lumber	IN	Out
Office/Study/Close	4068H	Generic	1	1	34 1/2"x82 1/2"	Hinged		2x4x37 1/2" (2)	Lumber	IN	In
Kitchenette/ Living Area/laundry/Close	2868H	Generic	1	1	34 1/2"x82 1/2"	Hinged		2x4x37 1/2" (2)	Lumber	IN	Out
Mud Room/Landing	2668H	ThermaTru	1	1	34 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	EX	In
Dining Area/Hall	2868C/O	N/A	1	1	34 1/2"x96 3/8"	Doorway		2x10x37 1/2" (2)	Lumber	IN	None
Hall/Open Foyer	2868C/O	N/A	1	1	34 1/2"x96 3/8"	Doorway		2x10x37 1/2" (2)	Lumber	IN	None
Dining Area/Hall	2812-Transom	Generic	1	1	33 1/2"x14 1/2"	Fixed Glass		2x10x37 1/2" (2)	Lumber	IN	None
Hall/Open Foyer	2812-Transom	Generic	1	1	33 1/2"x14 1/2"	Fixed Glass		2x10x37 1/2" (2)	Lumber	IN	None
Mud Room/Close	4068H	Generic	1	1	50 1/2"x82 1/2"	Double Hinged		2x4x53 1/2" (2)	Lumber	IN	In

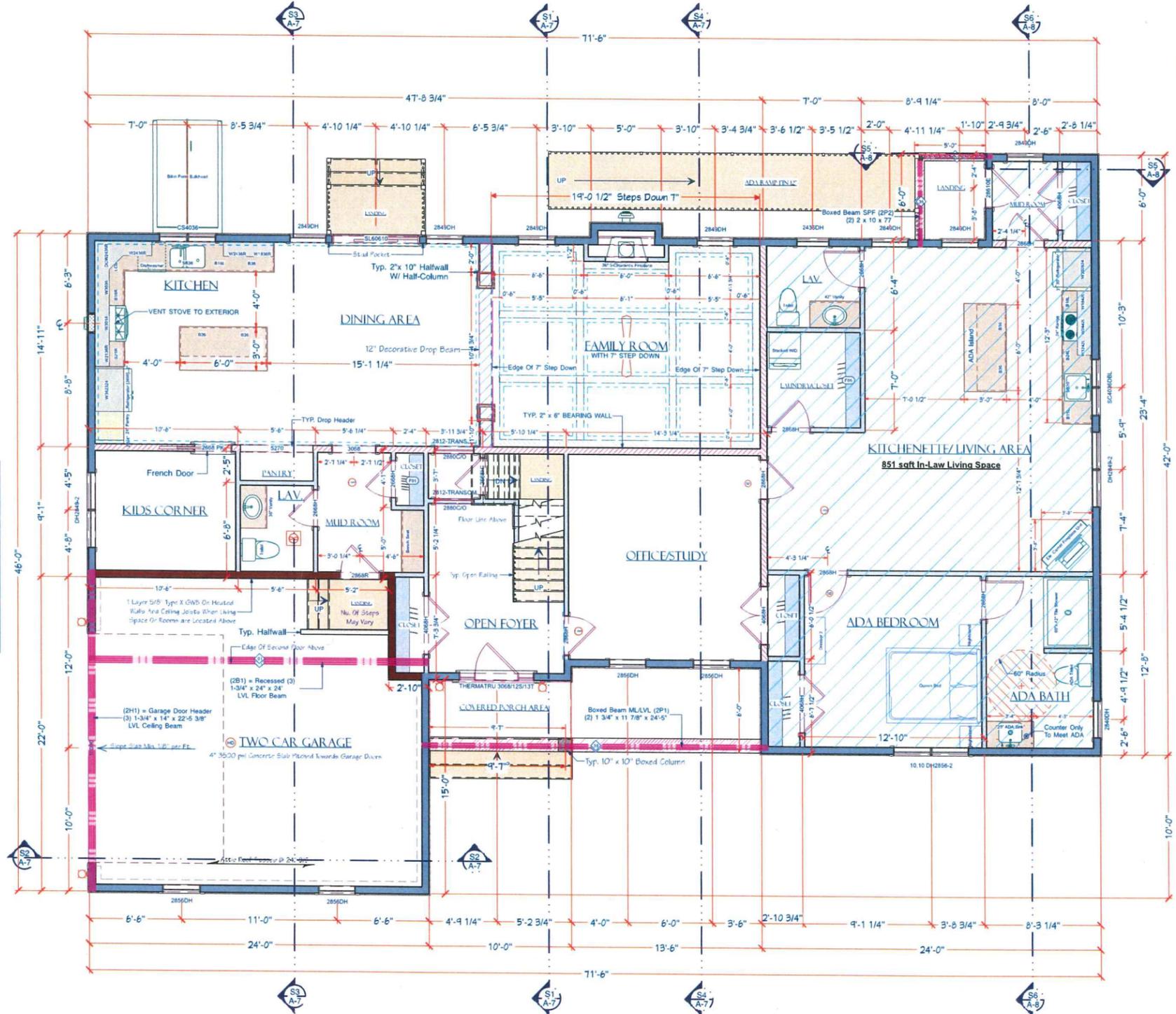
Room Name	Floor	Area, Standard (sq ft)	Dimensions
Family Room	1	261	19'-2" x 14'-2"
Close	1	19	2'-3" x 5'-11"
Kitchen	1	264	13'-2" x 14'-2"
Dining Area	1	219	13'-7" x 14'-4"
Office/Study	1	212	13'-7" x 14'-4"
Kids Corner	1	65	7'-10" x 8'-4"
Mud Room	1	61	7'-2" x 8'-4"
Open Foyer	1	103	8'-6" x 11'-10"
Lav.	1	37	5'-2" x 6'-0"
Hall	1	14	3'-3" x 3'-2"
Pantry	1	13	5'-2" x 2'-9"
Close	1	4	4'-0" x 6'-5"
Close	1	20	2'-0" x 6'-3"
Close	1	10	2'-0" x 5'-3"
Stairwell	1	41	3'-2" x 8'-1"
Covered Porch Area	1	132	23'-3" x 8'-11"
Laundry/Close	1	49	6'-7" x 6'-8"
Landing	1	30	4'-11" x 6'-11"
Two Car Garage	1	507	23'-0" x 21'-6"
ADA Bedroom	1	163	12'-8" x 12'-0"
ADA Bath	1	105	7'-0" x 12'-0"
Kitchenette/ Living Area	1	460	16'-1" x 22'-8"
Close	1	16	2'-3" x 6'-3"
Lav.	1	44	6'-7" x 6'-1"
Mud Room	1	33	4'-8" x 6'-6"
Close	1	17	2'-0" x 5'-4"
Totals		2900	

2D Symbol	Wall Type	Floor	Cavity R-Value	Total Width	Qty
[Symbol]	4a - 2x6 Frame w/ Lap Siding - 1/2" SR	1	21	7 1/4"	15
[Symbol]	5a - 2x4 w/ 1/2" SR	1	0	4 1/2"	17
[Symbol]	6a - 2x6 w/ 1/2" SR Bearing Wall	1	0	6 1/2"	5
[Symbol]	6c - 2x10 w/ 1/2" SR HalfWall_2	1	0	10 1/4"	2
[Symbol]	5c - 2x4 w/ 1/2" SR_3	1	0	4 1/2"	9
[Symbol]	6d - 2x6 Ins. FireWall w/ 1/2" & 5/8" SR	1	21	6 5/8"	3
[Symbol]	9m - Deck Railing/Fence	1	0	3 1/2"	3
[Symbol]	5c - 2x4 w/ 1/2" SR HalfWall_4	1	0	4 1/2"	1

2D	Qty	Floor	Attached To	Description
[Symbol]	3	1	Ceiling	CO/Smoke Detector
[Symbol]	1	1	Ceiling	Exhaust
[Symbol]	1	1	Ceiling	Heat Detector
[Symbol]	4	1	Wall	Porch Lantern
[Symbol]	2	1	Ceiling	Smoke Detector
[Symbol]	1	1	Ceiling	Basic Ceiling Fan

Number	Floor	Label	Qty	Width
F01	1	Close Shelf w/ Rod	1	143 1/2"
F02	1	Close Shelf w/ Rod	1	79 13/16"
F03	1	Close Shelf w/ Rod	1	71 1/4"
F04	1	Close Shelf w/ Rod	1	68"
F05	1	Close Shelf w/ Rod	1	79 1/2"
F06	1	Close Shelf w/ Rod	1	65 1/2"

2D Symbol	Text
[Symbol]	Text



LIVING AREA = 2223 SQ FT
1ST FLOOR LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:
2021-0004-1347 Lantern Hill (39 Lantern Hill)
Dr. Cranston, RI

PROJECT NO. INFORMATION:
2021-0004-1347 Lantern Hill (39 Lantern Hill)
Dr. Cranston, RI - /Users/admin/ Dropbox (Clearvue Design)/PROJECT Docs/ 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347/Lantern Hill (Loc-39 Haven Colonial) (LSE)

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DRAWN BY:
Philip C. Calabro

DATE:
5/4/21

SCALE:
AS NOTED

SHEET OF:
3 | 15

SHEET:
A-3

DISCLAIMER:
 This plan is for building permit and design/layout purposes. Final framing plans, framing materials and construction details may vary and will be in accordance with State Building Codes and per the contract documents. The grades shown on the house plans do not reflect the actual grades on the lot. The amount of exposed foundation and the actual number of exterior steps and garage steps will be determined on-site and at the builder's discretion.

Elev	RM Name	Label	MFG.	Qty	Flr	Top	Dimensions	R/O	Egress	Temp	Description	HDR	HDR Type	Area Actual (sq. ft)
	Bedroom-4 Attic Trusses	2849DH	Pella-250	1	2	82 1/2"	31 1/2"x56 1/2"DH	32"x57"	Yes		Double Hung	2x10x35" (2)	Lumber	12.36
	Bedroom-3	2849DH	Pella-250	2	2	82 1/2"	31 1/2"x56 1/2"DH	32"x57"	Yes		Double Hung	2x10x35" (2)	Lumber	12.36
	Bath	2836DH	Pella-250	1	2	82 1/2"	31 1/2"x41 1/2"DH	32"x42"	Yes		Double Hung	2x10x35" (2)	Lumber	9.08
	Bedroom-2	DH2849-2	Pella-250	1	2	82 1/2"	63 1/2"x56 1/2"DH	64"x57"	Yes		Mulled Unit	2x10x67" (2)	Lumber	24.91
	Laundry	2836DH	Pella-250	1	2	82 1/2"	31 1/2"x41 1/2"DH	32"x42"			Double Hung	2x10x35" (2)	Lumber	9.08
	Master Bath	2836DH	Pella-250	2	2	82 1/2"	31 1/2"x41 1/2"DH	32"x42"	Yes		Double Hung	2x10x35" (2)	Lumber	9.08
	Master Bedroom	2849DH	Pella-250	2	2	82 1/2"	31 1/2"x56 1/2"DH	32"x57"	Yes		Double Hung	2x10x35" (2)	Lumber	12.36
	Open Below	Pella-350 Palladium	Pella-350	1	2	82 1/2"	70 1/2"x66"	71"x66 1/2"			Mulled Unit	2x10x74" (2)	Lumber	26.88
	Totals													149.91

RM Name	Label	MFG	Qty	FLR	R/O	Type	Fire	HDR	HDR Type	EX/IN	Hinge/S	Swing/S
WASH/Clset	4668H	Generic	1	2	54 1/2"x82 1/2"	Double Hinged		2x4x57 1/2" (2)	Lumber	IN	L/R	In
WASH/Loft Area	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	In
Bedroom-3/Loft Area	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	In
Bedroom-2/Loft Area	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	In
Clset Walk-in Master Bedroom	2668 PK	Generic	1	2	62 1/2"x81 1/2"	Pocket		2x4x55 1/2" (2)	Lumber	IN	R	Out
Clset Bedroom-2	5068	Generic	1	2	62 1/2"x82 1/2"	Double Hinged		2x4x55 1/2" (2)	Lumber	IN	L/R	Out
Master Bath Master Bedroom	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	In
Clset Bedroom-4 Attic Trusses	4068	Generic	1	2	62 1/2"x81 1/2"	Pocket		2x4x55 1/2" (2)	Lumber	IN	R	Out
Clset/Loft Area	3668	Generic	1	2	44 1/2"x82 1/2"	Double Hinged		2x4x47 1/2" (2)	Lumber	IN	L/R	Out
Loft Area	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	L	In
Loft Area Bedroom-4 Attic Trusses	2668	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	R	Out
Clset Bedroom-3	5068	Generic	1	2	62 1/2"x82 1/2"	Double Hinged		2x4x55 1/2" (2)	Lumber	IN	L/R	Out
Master Bedroom/Loft Area	2668 H	Generic	1	2	32 1/2"x82 1/2"	Hinged		2x4x35 1/2" (2)	Lumber	IN	L	In
Bath/WASH	2668PK	Generic	1	2	62 1/2"x81 1/2"	Pocket		2x4x55 1/2" (2)	Lumber	IN	R	Out

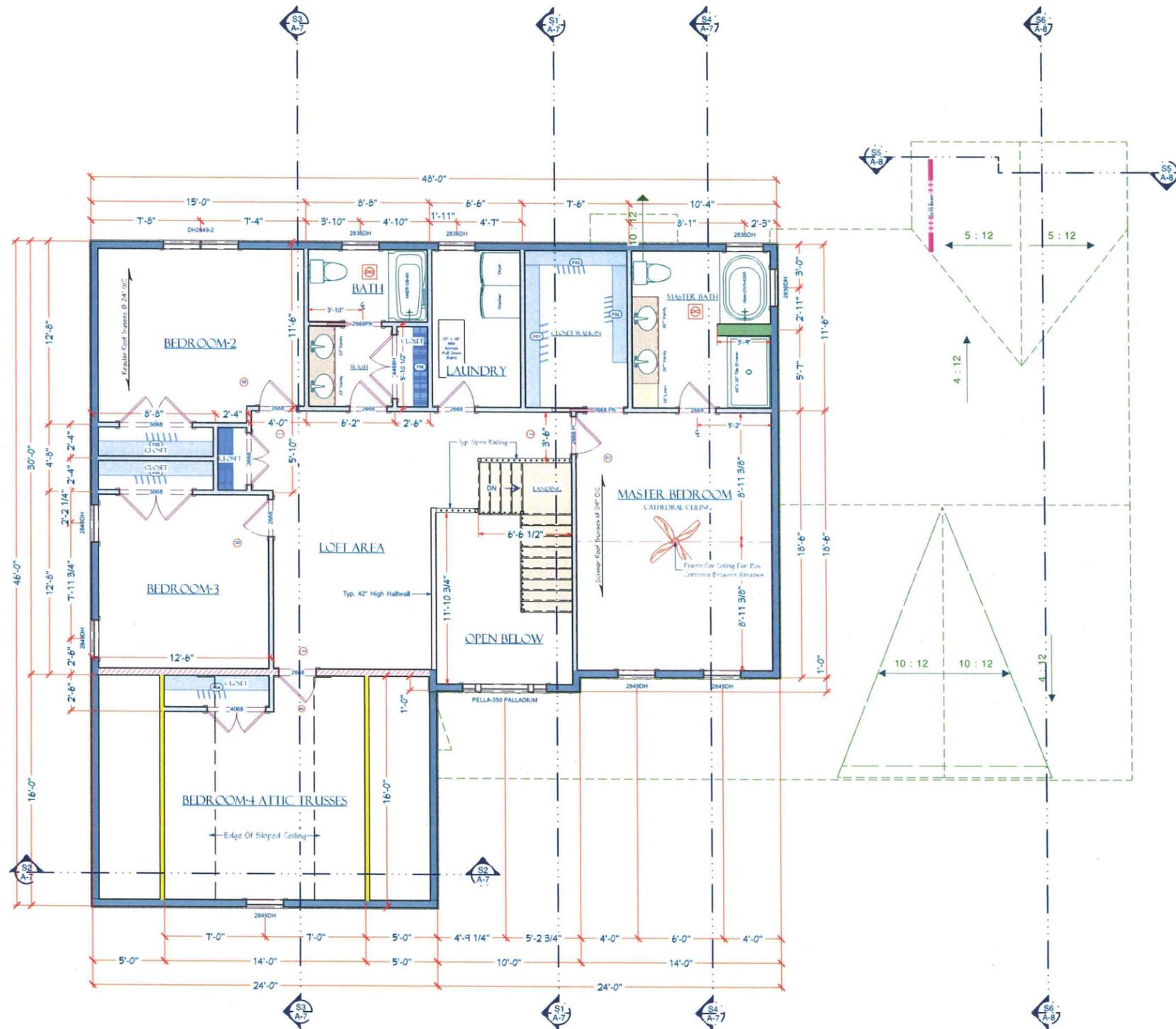
Room Name	Floor	Area Standard (sq. ft)	Dimensions
Attic Trusses	2	75	4'-3" x 15'-5"
WASH	2	36	5'-10" x 5'-6"
Bedroom-2	2	185	11'-4" x 12'-0"
Bedroom-3	2	157	11'-10" x 12'-0"
Bedroom-4 Attic Trusses	2	216	12'-11" x 13'-0"
Clset	2	15	2'-0" x 3'-0"
Bath	2	20	7'-3" x 2'-11"
Clset Walk-in	2	49	8'-4" x 4'-11"
Laundry	2	86	7'-2" x 10'-10"
Loft Area	2	75	6'-2" x 10'-10"
Master Bath	2	265	11'-0" x 17'-10"
Master Bedroom	2	119	8'-11" x 10'-10"
Master Bedroom	2	265	13'-8" x 17'-10"
Open Below	2	145	7'-6" x 18'-4"
Clset	2	11	2'-0" x 4'-4"
Clset	2	20	8'-0" x 2'-0"
Totals		1834	

2D Symbol	Wall Type	Floor	Cavity R-Value	Total Width	Qty
[Symbol]	4a - 2x6 Frame w/ Lap Siding - 1/2" SR	2	21	7 1/4"	14
[Symbol]	5a - 2x4 w/ 1/2" SR	2	0	4 1/2"	16
[Symbol]	4a - 2x6 Frame w/Siding - Attic	2	21	6 3/4"	1
[Symbol]	5f - 2x4 w/ 1/2" SR 1 Side	2	0	4"	2
[Symbol]	7i - Interior Railing	2	0	4 1/2"	1
[Symbol]	7i - Interior Railing_4	2	0	4 1/2"	1
[Symbol]	5e - 2x4 w/ 1/2" SR Halfwall_2	2	0	4 1/2"	1
[Symbol]	6m - 2x10 w/ 1/2" SR Wetwall	2	0	10 1/4"	1
[Symbol]	4a - 2x6 Frame w/Siding - 1/2" SR_2	2	21	7 1/4"	2

2D Qty	Floor	Attached To	Description
3	2	Ceiling	CO/Smoke Detector
2	2	Ceiling	Exhaust
1	2	Ceiling	Silverado
4	2	Ceiling	Smoke Detector

Number	Floor	Label	Qty	Wgtm
F01	2	Clset Shelf w/ Rod	1	117 3/4"
F02	2	Clset Shelf w/ Rod	1	80 9/16"
F03	2	Clset Shelf w/ Rod	1	85 1/2"
F04	2	Clset Shelf w/ Rod	1	87 1/8"
F05	2	Clset Shelf w/ Rod	2	95 3/4"
F06	2	Wire Shelf	4	66"
F07	2	Wire Shelf	4	151 1/2"

Note Schedule
 2D Symbol | Text



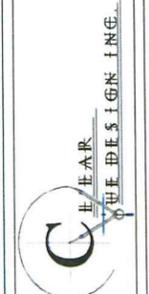
LIVING AREA = 1684 SQ FT
 2ND FLOOR LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:
 2021-0004-1347 Lantern Hill (39 Lantern Hill)
 Dr. Cranston, RI

PROJECT NO. INFORMATION:
 2021-0004-1347 Lantern Hill (39 Lantern Hill)
 Hill Dr. Cranston, RI (User/Armo)
 Dropbox: 0004-1347 THE HAVEN PROJECTS/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial) (LSE)

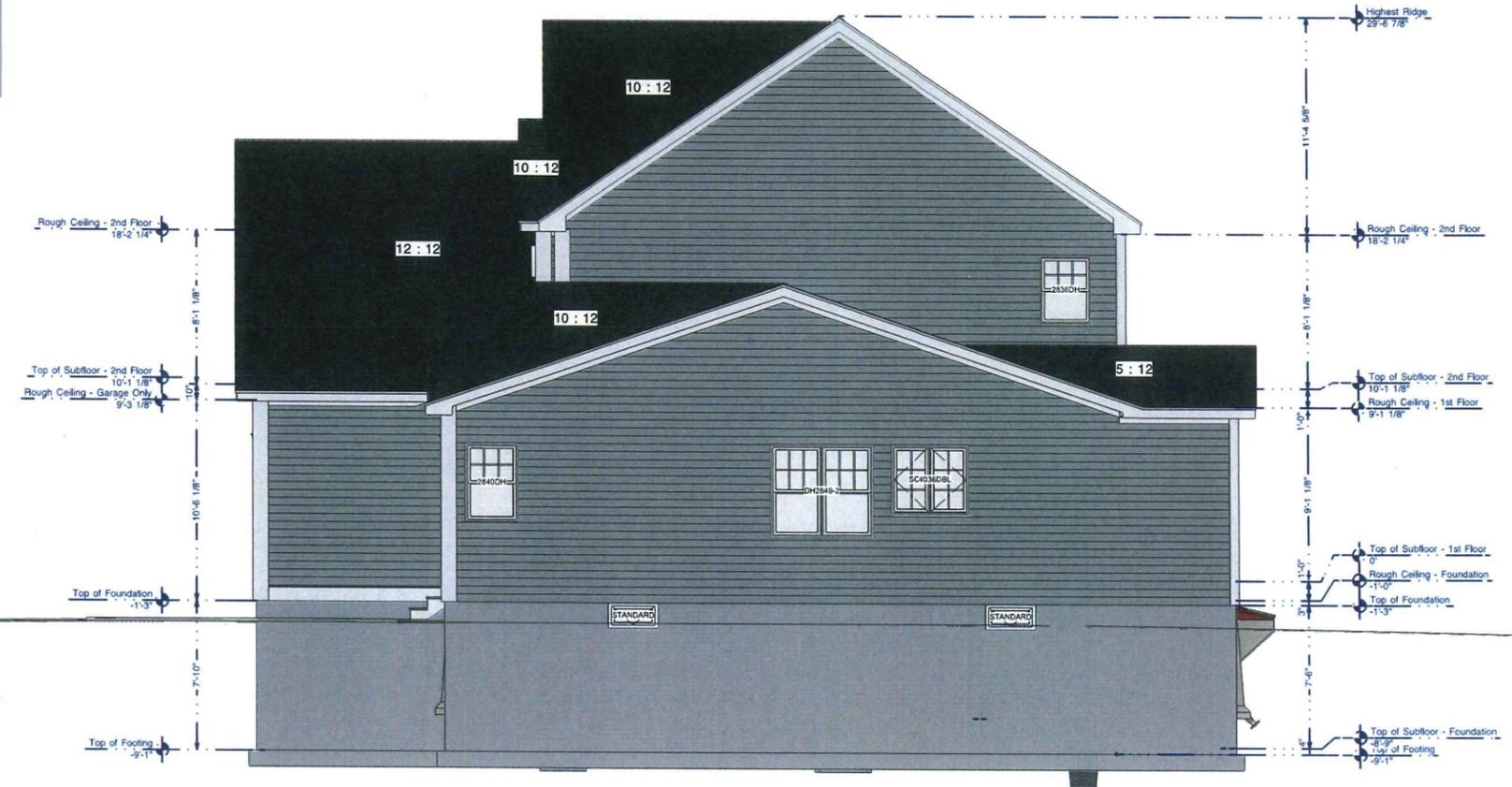
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 Philip C. Calabro
 DATE:
 5/4/21
 SCALE:
 AS NOTED
 SHEET OF
 4 | 15
 SHEET:
 A-4

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EXTERIOR ELEVATION LEFT SIDE VIEW ~ 1/4 IN = 1 FT



EXTERIOR ELEVATION RIGHT SIDE VIEW ~ 1/4 IN = 1 FT

PROJECT TITLE:
 2021-0004-1347_Lantern_Hill_(39_Lantern_Hill
 Dr_Cranston_RI)

PROJECT INFO:
 2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - (1) Project Docs / 2021-0004-1347 THE HAVEN PROJECTS/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE))

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ARCHITECT:
 CLEARVIE DESIGN INC.

DRAWN BY:
 Philip C. Calabro

DATE:
 5/4/21

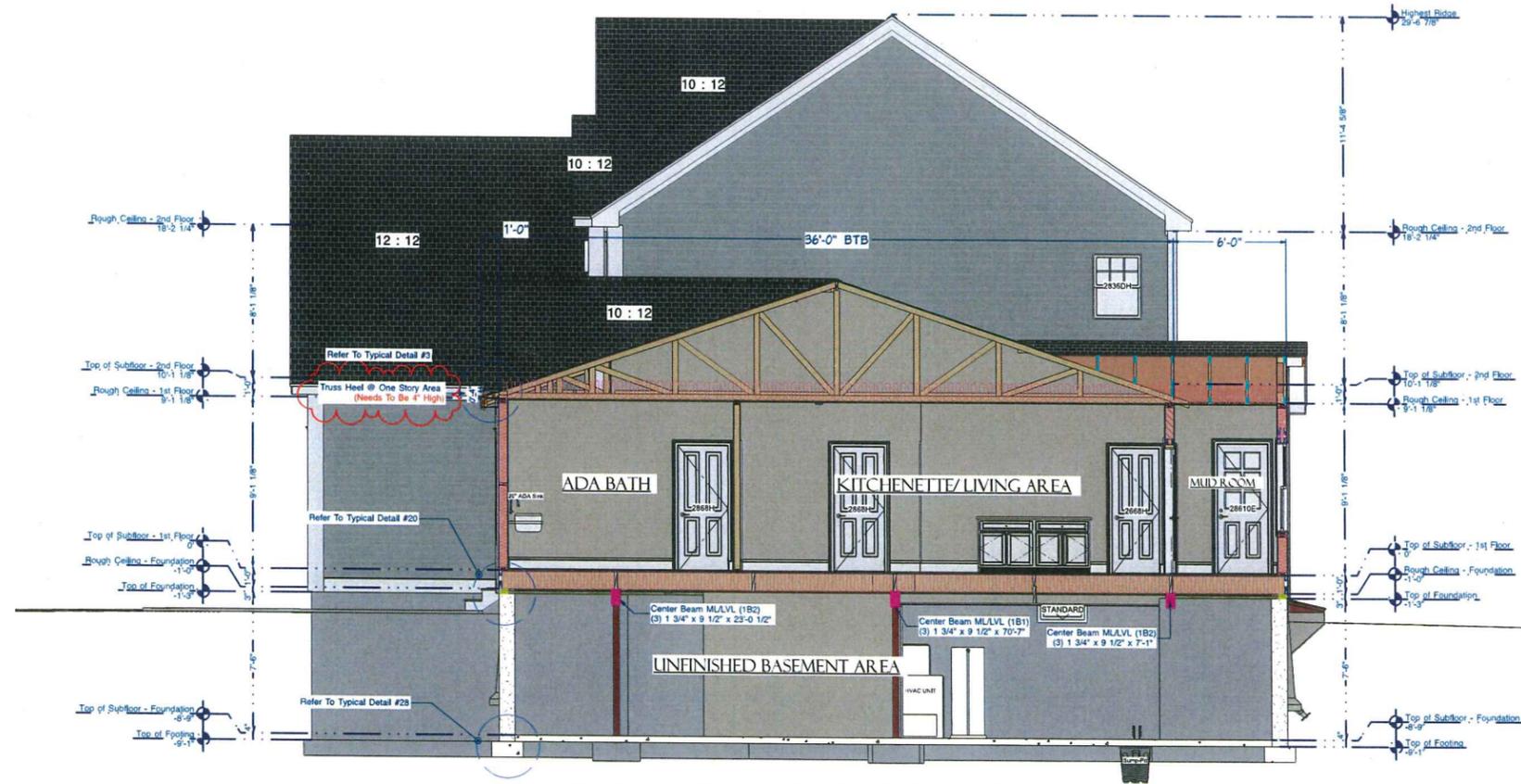
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 A-6



CROSS SECTION DETAIL VIEW S5 ~ 1/4 IN = 1 FT



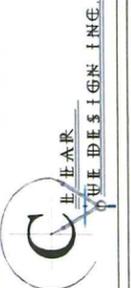
CROSS SECTION DETAIL VIEW S6 ~ 1/4 IN = 1 FT

PROJECT TITLE:
 2021-0004-1347 Lantern Hill (39 Lantern Hill)
 Dr. Cranston, RI

PROJECT INFORMATION:
 2021-0004-1347 Lantern Hill (39 Lantern Hill Dr. Cranston, RI) - /Users/admin/Dropbox (Clearvue Design)/PROJECTS/AT 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL/2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

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 Philip C. Calabro

DATE:
 5/4/21

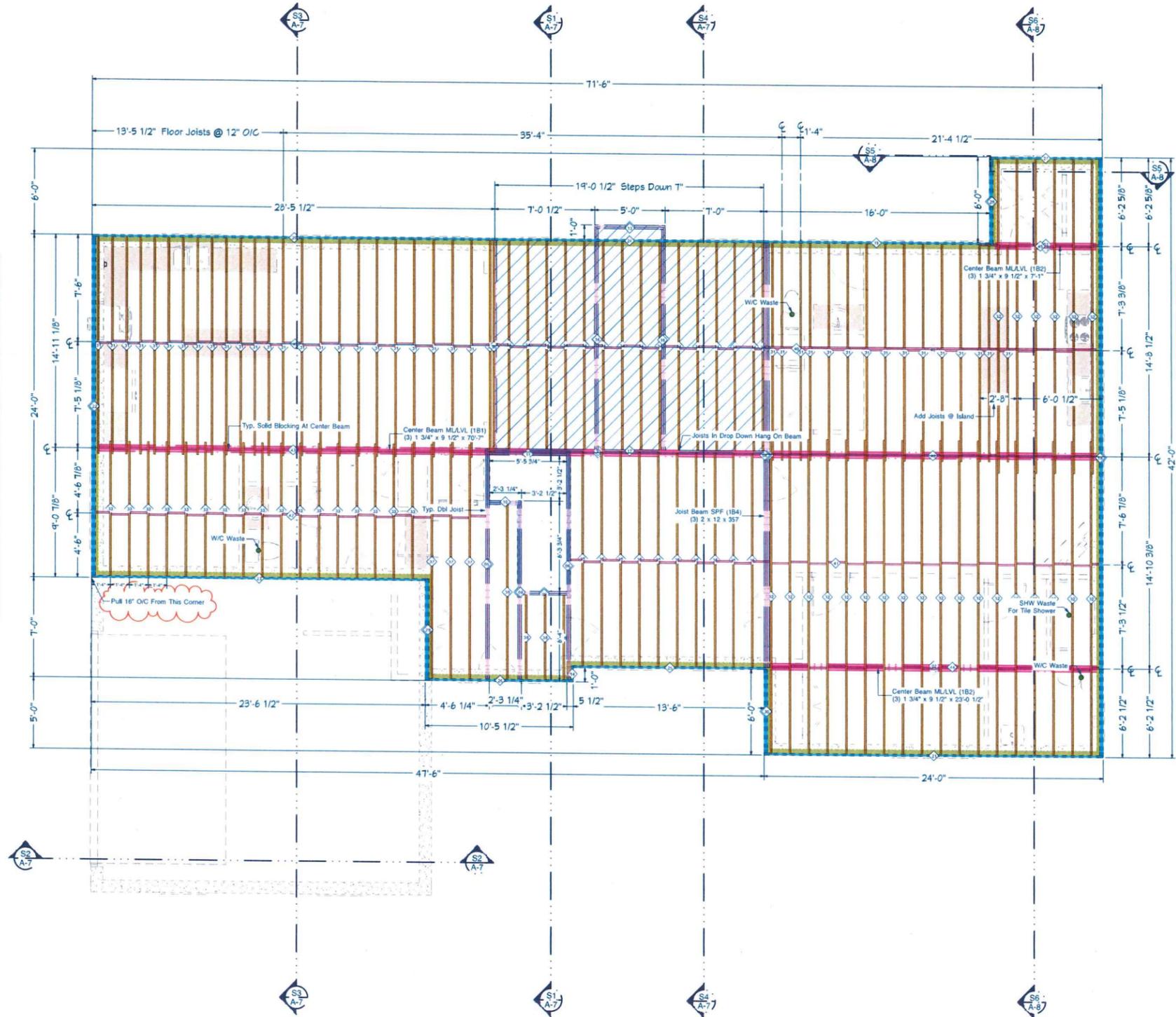
SCALE:
 AS NOTED

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SHEET:

A-8

Num	Name	Qty	Nominal	Length	Material
01	Floor Beam	3	1 3/4 x 9 1/2	84"	Structural M.L.V.L.
02	Floor Beam	3	1 3/4 x 9 1/2	276 1/2"	Structural M.L.V.L.
03	Floor Beam	3	1 3/4 x 9 1/2	85"	Structural M.L.V.L.
04	Floor Joist	3	2x12	257"	Structural SPF #2 Or Better
05	Floor Joist	2	2x12	194"	Structural SPF #2 Or Better
06	Floor Joist	2	2x12	192 1/2"	Structural SPF #2 Or Better
07	Floor Joist	1	2x12	175"	Structural SPF #2 Or Better
08	Floor Joist	2	2x12	147 1/4"	Structural SPF #2 Or Better
09	Floor Joist	2	2x12	38 1/2"	Structural SPF #2 Or Better
10	Floor Joist	2	2x12	27 1/4"	Structural SPF #2 Or Better
11	Floor Joist	1	2x12	65 3/4"	Structural SPF #2 Or Better
12	Floor Joist	1	2x12	60"	Structural SPF #2 Or Better
13	Floor Joist	1	2x12	57"	Structural SPF #2 Or Better
14	Floor Joist	1	2x12	13 1/2"	Structural SPF #2 Or Better
15	Floor Joist	2	2x12	187"	Structural SPF #2 Or Better
16	Floor Joist	2	2x12	185 1/2"	Structural SPF #2 Or Better
17	Floor Joist	1	2x12	228 1/2"	Structural SPF #2 Or Better
18	Floor Joist	2	2x12	501"	Rim Board SPF #2 Or Better
19	Floor Joist	1	2x12	192"	Rim Board SPF #2 Or Better
20	Floor Joist	1	2x12	341 1/2"	Rim Board SPF #2 Or Better
21	Floor Joist	1	2x12	288"	Rim Board SPF #2 Or Better
22	Floor Joist	2	2x12	285"	Rim Board SPF #2 Or Better
23	Floor Joist	1	2x12	282 1/2"	Rim Board SPF #2 Or Better
24	Floor Joist	1	2x12	228 1/2"	Rim Board SPF #2 Or Better
25	Floor Joist	1	2x12	161 1/2"	Rim Board SPF #2 Or Better
26	Floor Joist	1	2x12	121"	Rim Board SPF #2 Or Better
27	Floor Joist	1	2x12	96"	Rim Board SPF #2 Or Better
28	Floor Joist	2	2x12	85 1/2"	Rim Board SPF #2 Or Better
29	Floor Joist	2	2x12	72"	Rim Board SPF #2 Or Better
30	Floor Joist	2	2x12	70 1/2"	Rim Board SPF #2 Or Better
31	Floor Joist	39	2x12	182 1/2"	SPF #2 Or Better Floor Joists
32	Floor Joist	24	2x12	264"	SPF #2 Or Better Floor Joists
33	Floor Joist	17	2x12	113 1/8"	SPF #2 Or Better Floor Joists
34	Floor Joist	15	2x12	175"	SPF #2 Or Better Floor Joists
35	Floor Joist	10	2x12	180 1/2"	SPF #2 Or Better Floor Joists
36	Floor Joist	2	2x12	173 3/4"	SPF #2 Or Better Floor Joists
37	Floor Joist	3	2x12	197 1/8"	SPF #2 Or Better Floor Joists
38	Floor Joist	3	2x12	71 1/2"	SPF #2 Or Better Floor Joists
39	Floor Joist	1	2x12	147 1/4"	SPF #2 Or Better Floor Joists
40	Floor Blocking	1	2x12	509 1/2"	SPF #2 Or Better
41	Floor Blocking	1	2x12	451"	SPF #2 Or Better
42	Floor Blocking	1	2x12	330 3/4"	SPF #2 Or Better
43	Floor Blocking	1	2x12	327 1/2"	SPF #2 Or Better
44	Floor Blocking	1	2x12	278 1/4"	SPF #2 Or Better
45	Floor Blocking	1	2x12	102 1/4"	SPF #2 Or Better
46	Floor Blocking	2	2x12	270 1/2"	SPF #2 Or Better
47	Floor Blocking	1	2x12	330 1/2"	SPF #2 Or Better



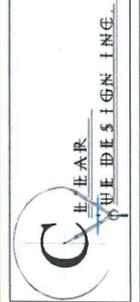
IST FLOOR FRAMING LAYOUT PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI)

PROJECT INFO INFORMATION:
 2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) Project Docs / 2013-0047 THE HAVEN PROJECTS/AT LANTERN HILL (2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

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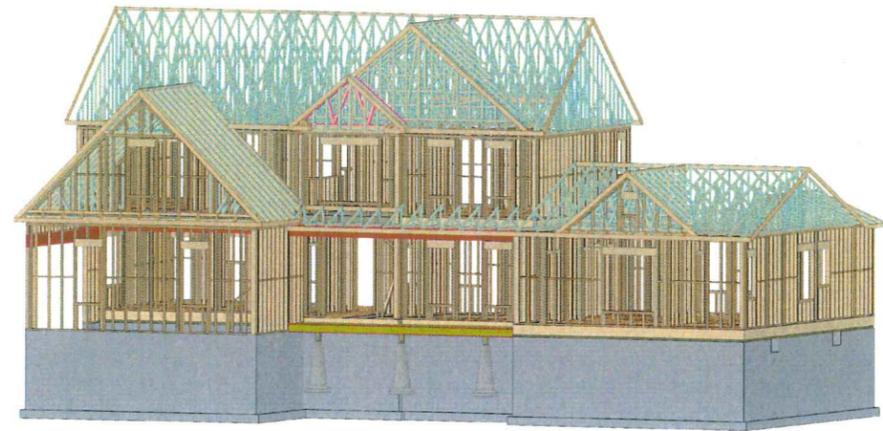
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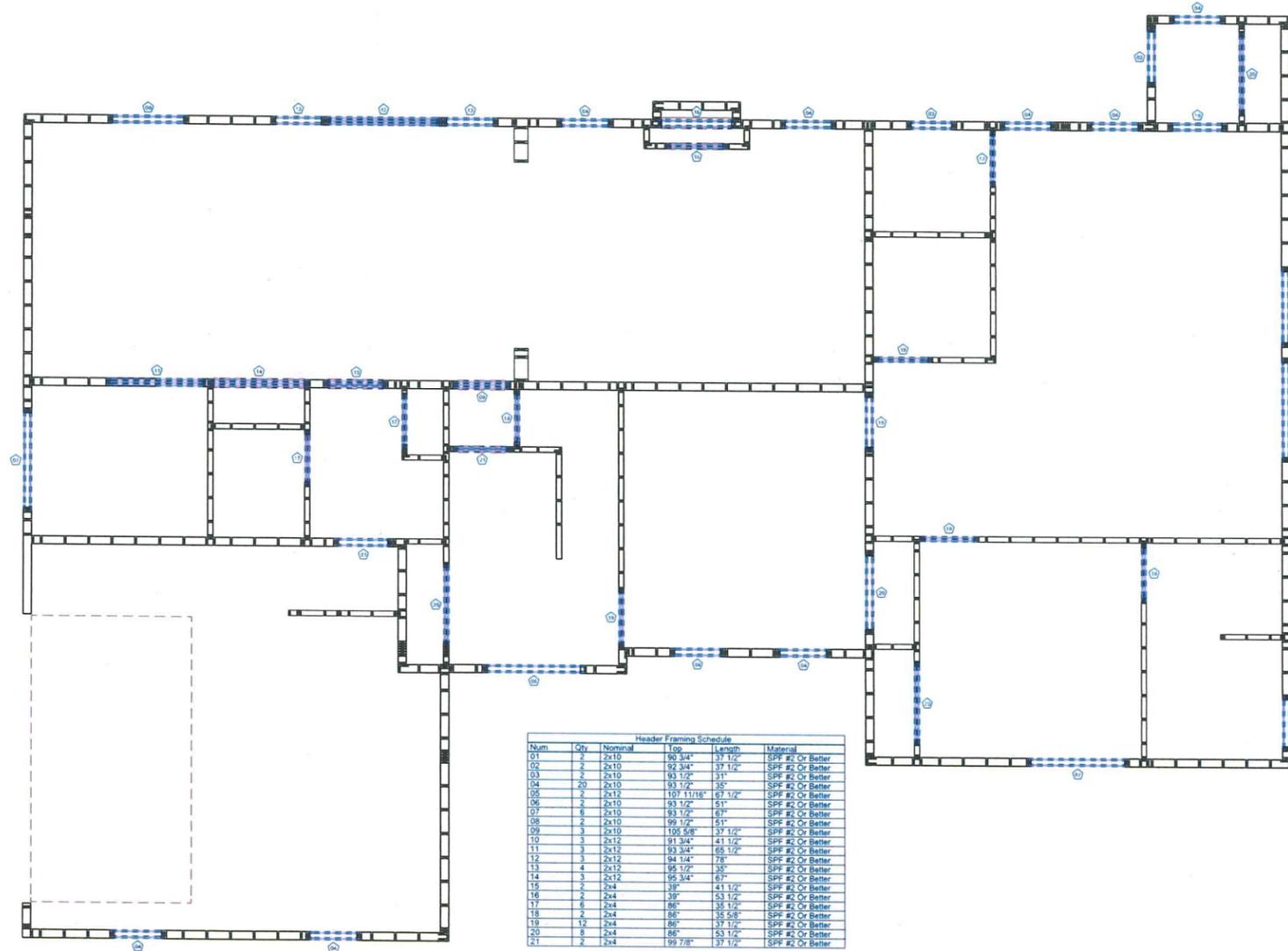
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FRAMING CAMERA - 1



FRAMING CAMERA - 2



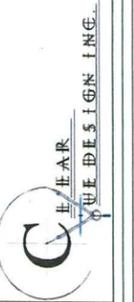
1ST FLOOR WALL & HEADER FRAMING PLAN ~ SCALE = 1/4 IN = 1 FT

PROJECT TITLE:
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI)
Dr. Cranston, RI

PROJECT NO. INFORMATION:
2021-0004-1347 Lantern Hill (39 Lantern Hill Dr Cranston, RI) - /Users/admin/Dropbox (Clearvue Design)/PROJECTS/AT 2013-0047 (THE HAVEN PROJECTS)/AT LANTERN HILL 2021-0004-1347 Lantern Hill (Lot-39 Haven Colonial (LSE)

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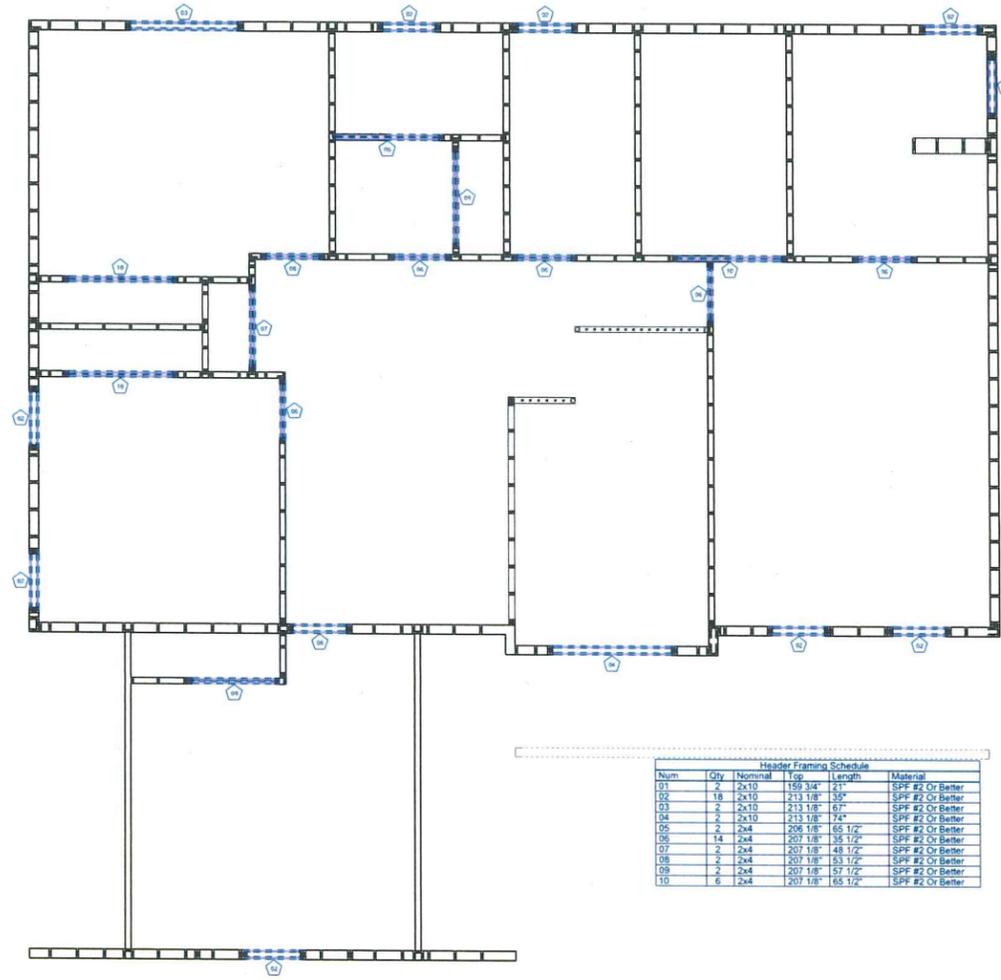
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Header Framing Schedule					
Num	Qty	Nominal	Type	Length	Material
01	2	2x10	159 3/4"	21"	SPP #2 Or Better
02	18	2x10	213 1/8"	35"	SPP #2 Or Better
03	2	2x10	213 1/8"	65"	SPP #2 Or Better
04	2	2x10	213 1/8"	74"	SPP #2 Or Better
05	2	2x4	206 1/8"	65 1/2"	SPP #2 Or Better
06	14	2x4	207 1/8"	35 1/2"	SPP #2 Or Better
07	2	2x4	207 1/8"	48 1/2"	SPP #2 Or Better
08	2	2x4	207 1/8"	53 1/2"	SPP #2 Or Better
09	2	2x4	207 1/8"	57 1/2"	SPP #2 Or Better
10	6	2x4	207 1/8"	65 1/2"	SPP #2 Or Better

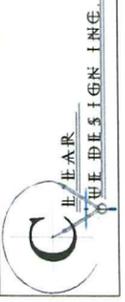
2ND FLOOR WALL & HEADER FRAMING PLAN ~ SCALE = 1/4 IN = 1 FT

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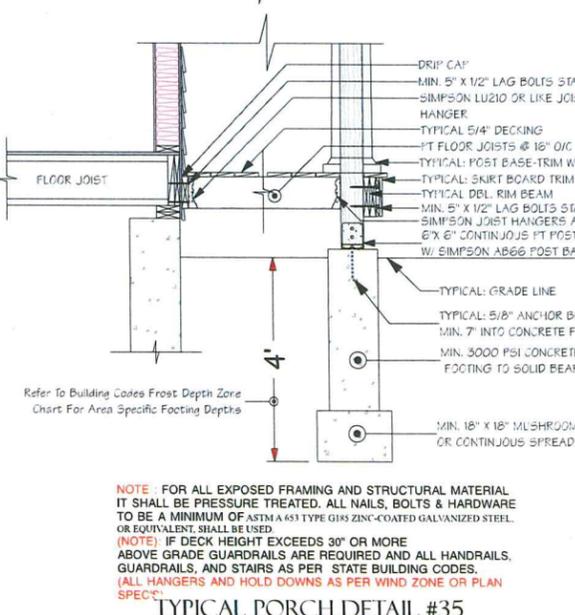
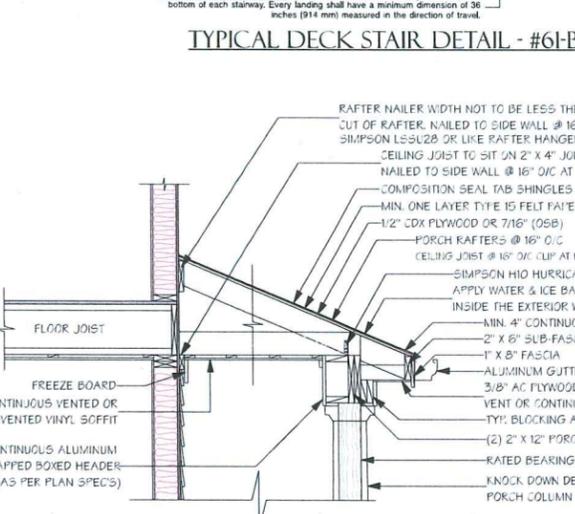
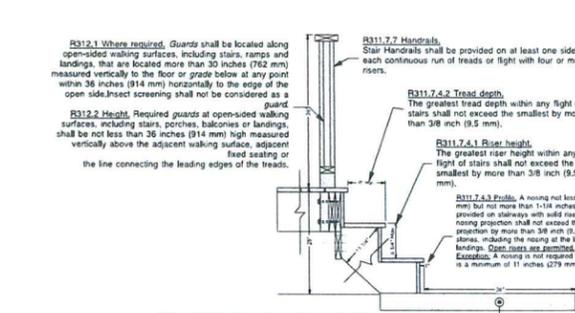
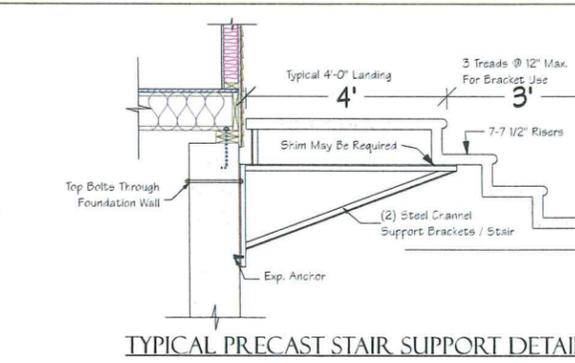
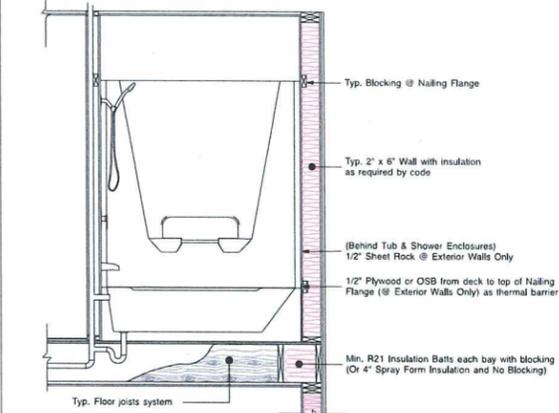
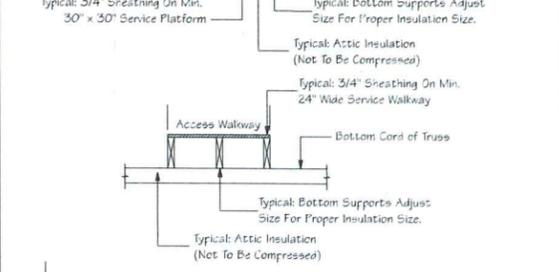
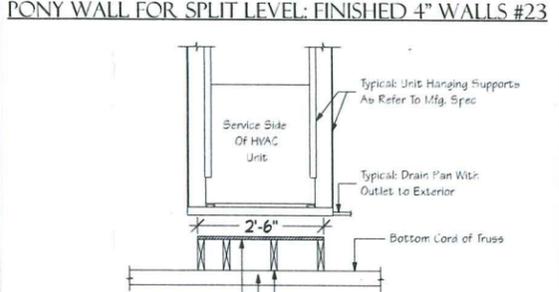
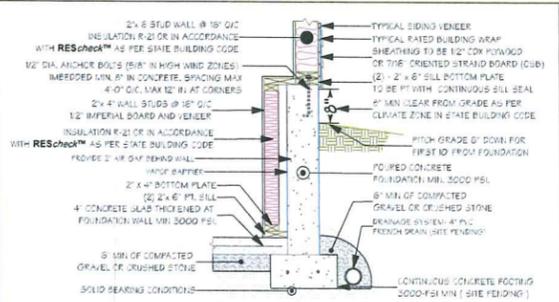
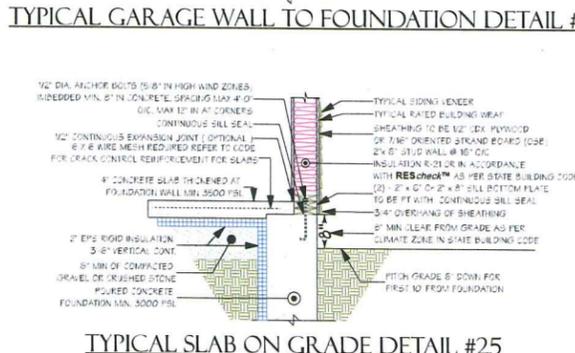
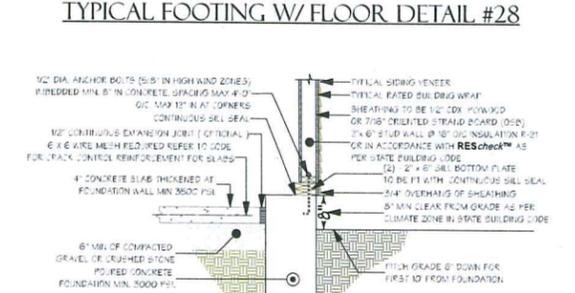
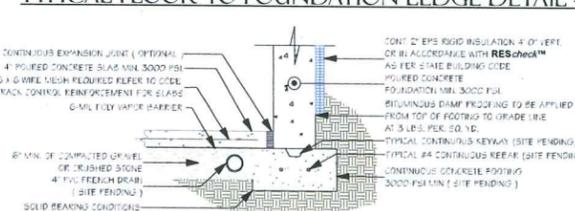
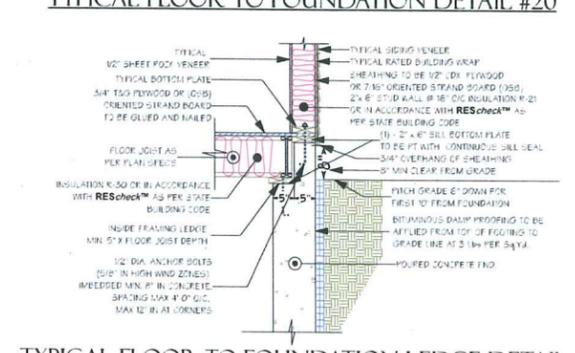
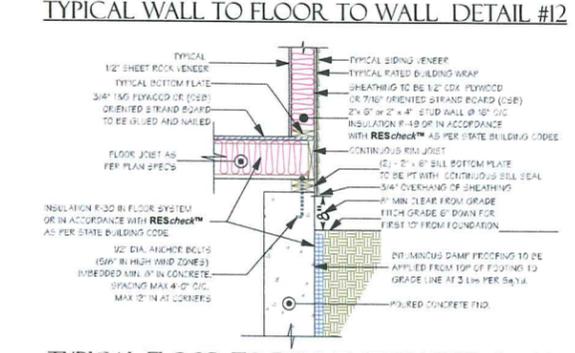
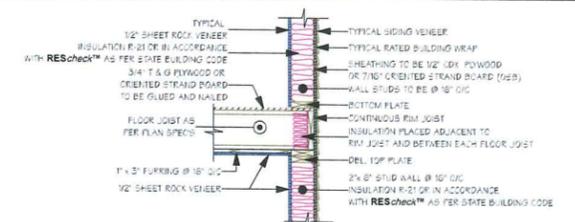
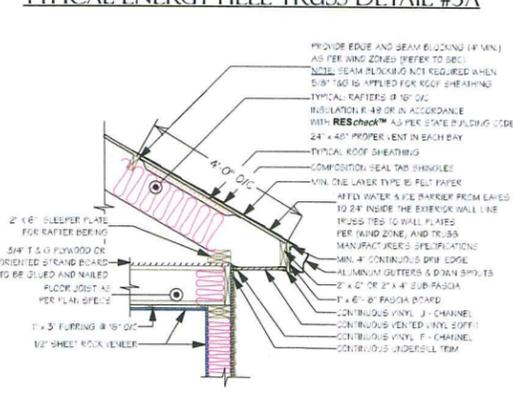
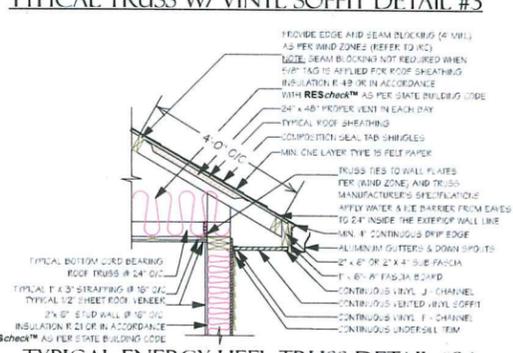
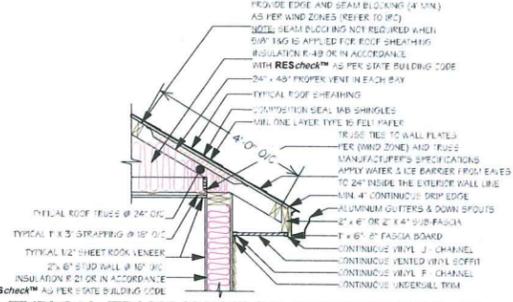
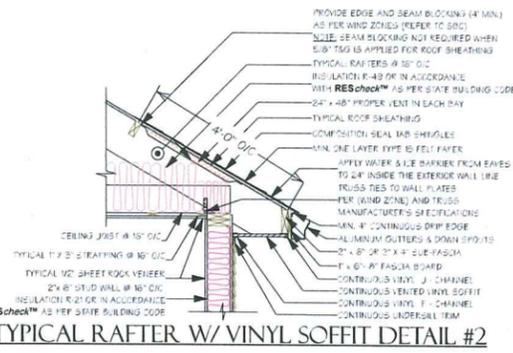
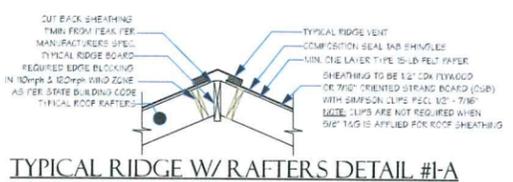
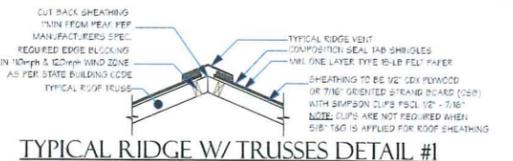
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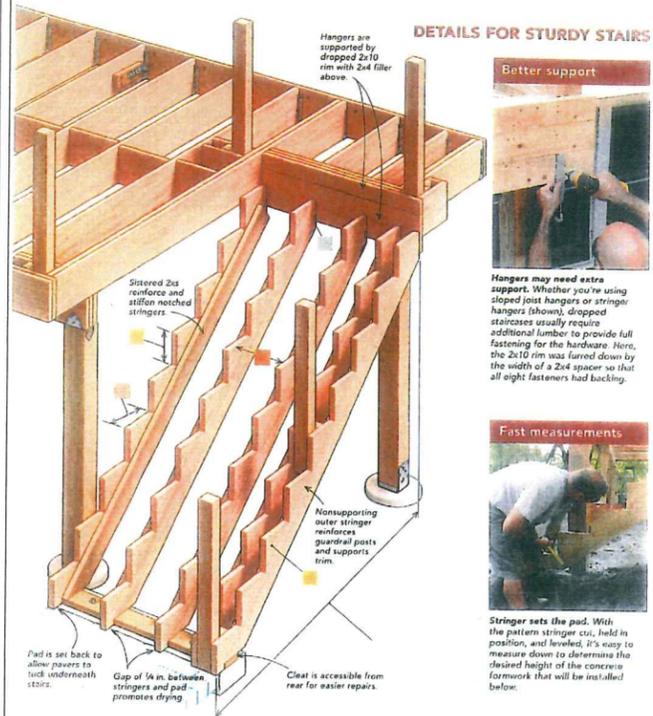
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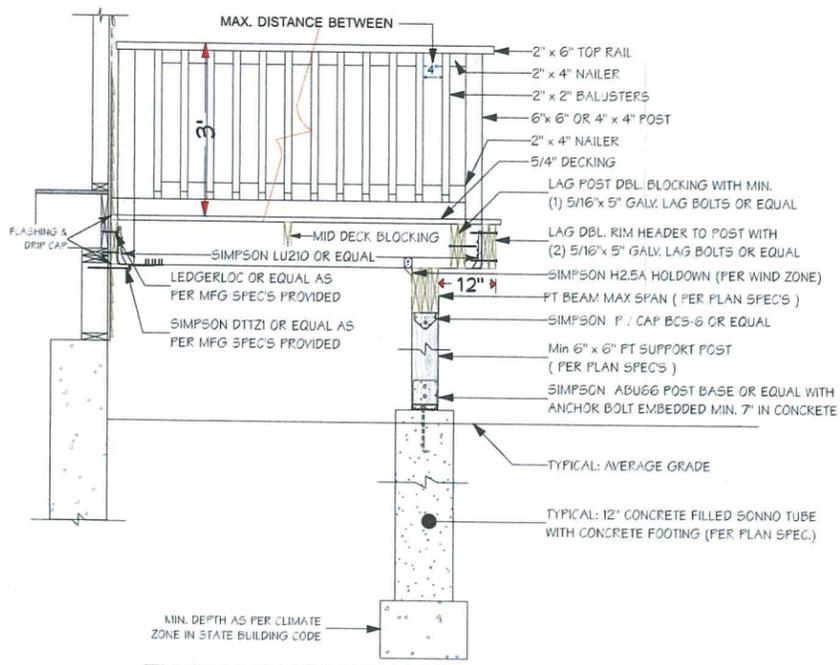


Know the code Here are some of the most notable details to brush up on before framing your next set of deck stairs.

- Stringers must be cut from a maximum of 2x12 stock.
- Maximum span is 6 ft. for notched stringers (13 ft. for solid stringers).
- Sloped joist hangers or stringer hangers are required at the upper end of the stringers.
- Maximum riser height is 7 1/2 in.
- Minimum tread width is 10 in.

www.familybuilding.com APRIL/MAY 2016 57

NOTE: FOR ALL EXPOSED FRAMING AND STRUCTURAL MATERIAL IT SHALL BE PRESSURE TREATED. ALL NAILS, BOLTS & HARDWARE TO BE A MINIMUM OF ASTM A 653 TYPE G185 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED.
(NOTE) IF DECK HEIGHT EXCEEDS 30" OR MORE ABOVE GRADE GUARDRAILS ARE REQUIRED AND ALL HANDRAILS, GUARDRAILS, AND STAIRS AS PER STATE BUILDING CODES. (ALL HANGERS AND HOLD DOWNS AS PER WIND ZONE OR PLAN SPECS)



TYPICAL DECK WITH BEAM DETAIL - #61

NOTES FROM THE FIELD
KNOWLEDGE FOR THE BUILDER

Although no substitute for specific code requirements or the manufacturer's installation instructions, here are some helpful insights, often overlooked caveats, and general advice for properly installing hardware and metal connectors on a typical deck.

Rim and guardrails
Technically, you can attach guardrail posts however you like, as long as you can prove that the attachment will allow them to withstand 200 lb. of concentrated live load applied anywhere along the top. Tension ties and blocking are the most common solutions, however.

Working together with midspan blocking, a deck's rim keeps the joists from rolling over. To do its job, the rim must be fastened to the joists with 3-in.-long #10 wood screws, or 10d 3-in. threaded nails. If a double rim is used, these fasteners should be installed before the second layer is applied.

Guardrail posts attached to a rim are only as strong as the joist ends. Posts in these locations should be tied to joists with blocking or tension ties, too.

If guardrail posts are being reinforced with tension ties approved for that application (such as Simpson's DITZ, right), the joists must be 2x8 or larger. Smaller joists don't provide enough depth for the fasteners to resist the leverage applied to the railings.

Beam, posts, and footings
Clearance from the post base to the edge of the footing varies by the type of connector and anchor. Generally, the shallower the anchor embedment, the closer to the edge of the footing you can get. Keep in mind that minimum edge distances are a separate issue from sizing a footing to carry deck loads, and honest calculations for these two criteria usually result in a need for larger footings than are commonly used.

Post caps, regardless of type or thickness, are not designed to provide sway resistance. If you need to resist racking forces in a tall deck, the posts must be stiffened with angled wood bracing between post and beam or by sinking the posts into the footings.

Even when installing beams so that they bear directly on posts, you can't rely on toenails for this connection.

Ledger, joists, and stringers
Overdriving ledger screws reduces their holding strength. They should be driven only until the back of the washer head contacts the face of the wood.

Joists must be cut to sit within 1/8 in. of the ledger, and to satisfy code, must maintain at least 1 1/2 in. of full bearing contact with the seat of the hanger.

Hangers must match the joist they support. Hangers that are undersize place all of the forces into the bottom of the ledger, which can split off.

Much of a joist hanger's capacity relies on the 45° fasteners, which must be 3 in. long to pass through the joists and into the ledger.

Deck frames must be tied back through the ledger and into the house framing, usually using tension ties. Depending on the type, you need at least two, but sometimes four, of these connectors.

Only inverted flange hangers are tested for use at ledger ends. Never bend or cut a standard hanger for this spot.

Toenails are a fast way to attach the joists to the beam but aren't a long-term solution for preventing movement. Hurricane ties are a more durable way to reinforce the connection between the joists and beam.

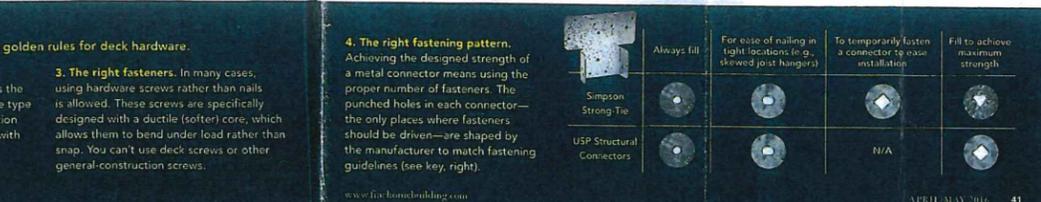
Stringer hangers have minimum bearing requirements. If the first step is below the deck surface, then a wider header or dropped header will be needed.

Midspan support is required for notched stringers that span more than 6 ft. (measured horizontally). Distances longer than that require midspan support posts that land on a minimum 6-in.-thick footing.

You don't need joist hangers at the rim opposite the ledger unless it's also acting as a flush carrying beam.

FOUR GENERAL REQUIREMENTS
 Before diving into the details of each metal connector, learn these golden rules for deck hardware.

- The right connector.** Connectors are designed and tested for specific applications. There are no tested values to support their use—either in their original form or an altered form—for reinforcing other connections.
- The right finish.** The mistake inspectors see most frequently is the use of metal connectors with one type of weather resistance (galvanization or stainless steel) and fasteners with another type.
- The right fasteners.** In many cases, using hardware screws rather than nails is allowed. These screws are specifically designed with a ductile (softer) core, which allows them to bend under load rather than snap. You can't use deck screws or other general-construction screws.
- The right fastening pattern.** Achieving the designed strength of a metal connector means using the proper number of fasteners. The punched holes in each connector—the only places where fasteners should be driven—are shaped by the manufacturer to match fastening guidelines (see key, right).



Technical Evaluation Report (TER)

Loading Condition (Live Load, psf)	2x Nominal Ledger Species	Rim Joist Material	Maximum Deck Joist Spans						
			Up to 6'	Up to 8'	Up to 10'	Up to 12'	Up to 14'	Up to 16'	Up to 18'
40	HF/SPF	2x Nominal Sawn Lumber	20	15	12	10	8	7	6
	DF/SP	1" min EWP	25	19	15	12	10	9	8
60	HF/SPF	Nominal Sawn Lumber	24	18	14	12	10	9	8
	DF/SP	1" min EWP	25	19	15	12	10	9	8
60	HF/SPF	2x Nominal Sawn Lumber	14	11	8	7	6	5	4
	DF/SP	Nominal Sawn Lumber	18	13	10	9	7	6	6
60	HF/SPF	2x Nominal Sawn Lumber	17	13	10	8	7	6	5
	DF/SP	1" min EWP	18	13	10	9	7	6	6

1. Based on load duration of 1.0. Spacing may be adjusted by the applicable load duration as specified in NDS 2005.
 2. Fasteners are required to have full thread penetration into the main member. Excess fastener length extending beyond the main member is not reflected in the table above.
 3. Solid sawn band joists shall be HF, SPF, DF-L or SP species.
 4. Fastener spacing is based on tested loads. The design values use the lesser of a 1/4" deflection or a factor of safety equivalent to or greater than that of the code compliant lag screw application as defined in Figure 2.
 5. A maximum 1/2" structural sheathing may be installed between the ledger and the band joist.
 6. Table values assume 10 psf dead load.

Table 2: LedgerLok Fastener Spacing for Items in IRC Table 502.2.2.1 & Other Materials & Loading Conditions

- 5.4. When installed in accordance with the spacing requirements of Table 2, LedgerLok Ledger Board Fasteners provide equivalent performance to 2009 IRC Table R502.2.2.1.
6. Installation:
- 6.1. Choose a 3-3/4" or 5" LedgerLok Ledger Board Fastener so that the threads fully engage the rim material and the fastener tip extends beyond the back face of the rim material when fully seated against the installed ledger.
 - 6.2. Using a high-torque, 1/2" variable-speed drill (18V if cordless), drive the fasteners through the ledger and sheathing. Continue into the rim joist until the built-in washer head is drawn firm and flush to the ledger board. Do not overdrive.
 - 6.3. Figure 2 shows a detail of the LedgerLok Ledger Board Fastener deck connection, including minimum edge and end distances.

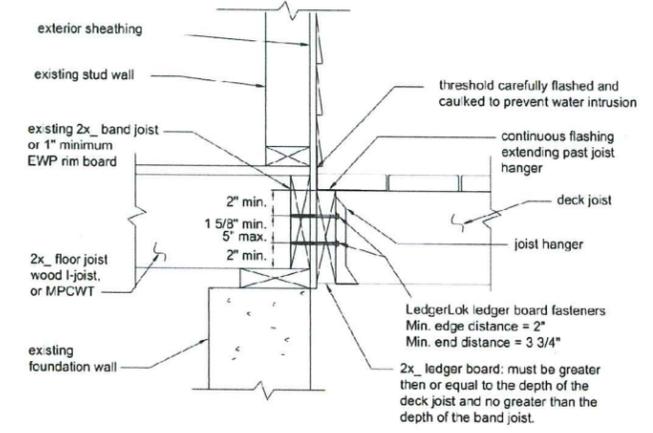
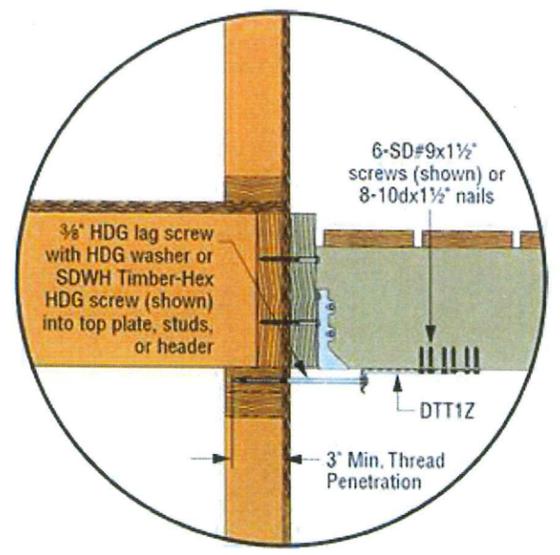


Figure 2: LedgerLok Ledger Board Fastener Deck Connection

TER No. 1203-03
 FastenMaster LedgerLok™ Ledger Board Fasteners



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